



ACTIVITY DETERMINATION

Project No. BGYHY

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Emma Nicholson

Name.....

Dated..... 24 August 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

18-22

Street or property name

Mundamatta Street

Suburb, town or locality

Villawood, NSW

Postcode

2163

Local Government Area(s)

Canterbury Bankstown

Real property description (Lot and DP)

Lots 814, 815 & 816 in DP 36608

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwellings and structures, removal of trees, and the construction of a seniors housing development comprising of 12 independent living seniors housing units (7 x 1 bedroom and 5 x 2 bedroom units) with associated landscaping and fencing, surface parking for 6 cars, consolidation of 3 lots into a single lot and construction of a stormwater drainage pipeline and easement over Lot 807 DP 36608, No. 82 Lowana Street.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated...24 August 2023

Emma Nicholson
A/Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following identified requirements are to ensure that the **seniors housing** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No. / Document Ref:	Revision / Issue:	Date [dd mm yyyy]:	Prepared by:
<u>Architectural – Appendix A</u>				
Coversheet	DA-0.00	8	14 February 2023	Custance
Site Analysis	DA-0.11	8	17 November 2022	Custance
Site Analysis	DA-0.12	7	17 November 2022	Custance
Site Plan	DA-0.20	9	22 November 2022	Custance
GA – Ground	DA-1.20	12	14 February 2023	Custance
GA – Level 1	DA-1.21	9	17 November 2022	Custance
GA - Roof	DA-1.22	8	17 November 2022	Custance
Shadow Diagrams	DA-1.65	7	17 November 2022	Custance
Shadow Diagrams	DA-1.66	7	17 November 2022	Custance
Eyes from the Sun	DA-1.68	4	17 November 2022	Custance
Eyes from the Sun	DA-1.69	4	17 November 2022	Custance

Title / Name:	Drawing No. / Document Ref:	Revision / Issue:	Date [dd mm yyyy]:	Prepared by:
Eyes from the Sun	DA-1.70	4	17 November 2022	Custance
External Elevations	DA-3.00	8	14 February 2023	Custance
Building Sections	DA-4.00	7	17 November 2022	Custance
3D Images & Streetscape Elevation	DA-6.00	7	17 November 2022	Custance
Area Calculations	DA-11.00	7	17 November 2022	Custance
<u>Landscape Set – Appendix B</u>				
Cover Sheet	LA00	-	26 August 2022	Taylor Brammer Landscape Architects
Ground Floor Landscape Plan	LA01	F	25 November 2022	Taylor Brammer Landscape Architects
Existing Tree Retained and Removed	LA02	F	25 November 2022	Taylor Brammer Landscape Architects
Landscape Details	LD01	A	15 September 2022	Taylor Brammer Landscape Architects
Landscape Details	LD02	B	21 October 2022	Taylor Brammer Landscape Architects
<u>Environmental Site Management – Appendix U</u>				
Notes & Legend	ESM1	4	14 November 2022	JN Engineering Consultants
Typical Details	ESM2	4	14 November 2022	JN Engineering Consultants
ESM Site Plan	ESM3	6	31 January 2023	JN Engineering Consultants
<u>Stormwater Services – Appendix C</u>				
Notes & Legend	C001	4	14 November 2022	JN Engineering Consultants
Site Plan	C010	6	14 November 2022	JN Engineering Consultants
Typical Details	C050	7	31 January 2023	JN Engineering Consultants

Title / Name:	Drawing No. / Document Ref:	Revision / Issue:	Date [dd mm yyyy]:	Prepared by:
OSD Details	C051	1	31 January 2023	JN Engineering Consultants
Ground Stormwater Plan	C200	9	31 January 2023	JN Engineering Consultants
Level 1 Stormwater Plan	C210	4	14 November 2022	JN Engineering Consultants
Roof Stormwater Plan	C300	2	14 November 2022	JN Engineering Consultants
<u>Survey – Appendix D and T</u>				
Detail and Level Survey	S Sheet 1 / 11	-	04 December 2021	Norton Survey Partners
<u>Mechanical Spatial – Appendix A</u>				
Mechanical Concept 1 / Cover Page	DA-0.00	1	23 June 2022	Knox Advanced Engineering
Mechanical Concept 1 / GA– Ground	DA-1.20	1	23 June 2022	Knox Advanced Engineering
Mechanical Concept 1 / GA– Level 1	DA-1.21	1	23 June 2022	Knox Advanced Engineering
<u>BASIX and NatHERS – Appendix K and N</u>				
BASIX Certificate	1318442M	02	18 May 2023	JN Engineering Consultants
NatHERS Certificate	0008210200	-	18 May 2023	Gradwell Consulting
<u>Arboricultural Plans – Appendix J</u>				
Cover Sheet	T-00	A	14 February 2023	Arterra Design
Tree Retention Value Plan	T-01	B	14 February 2023	Arterra Design
Tree Protection and Removal Plan	T-02	B	14 February 2023	Arterra Design
Tree Protection Specifications	T-03	A	14 November 2022	Arterra Design
<u>Specialist Reports</u>				
Arboricultural Impact Assessment – Appendix J	AIA-01	B	14 February 2023	Arterra Design
Access Report – Appendix H	21353-DA	1.2	22 November 2022	Access-I
BCA Design Compliance Assessment – Appendix L	P220195	0	14 November 2022	BCA Vision

Title / Name:	Drawing No. / Document Ref:	Revision / Issue:	Date [dd mm yyyy]:	Prepared by:
Noise Intrusion Assessment – Appendix V	20221154.2/09 11A/R0/ANP	0	9 November 2022	Acoustic Logic
Geotechnical Investigation Assessment – Appendix P	21/3539	0	December 2021	STS Geotechnics
Traffic Impact Assessment – Appendix S	21.640r01	v02	11 November 2022	TRAFFIX
Waste Management Plan – Demolition and Construction Waste – Appendix R	-	-	-	LAHC
Waste Management Plan – Occupancy Stage – Appendix R	-	-	-	LAHC

- All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
- The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

- Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the City of Canterbury Bankstown Council substantially in accordance with the approved concept stormwater drainage plans.
- Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
- All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
- To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances/exits to the property. The crossings and laybacks shall be constructed in accordance with the City of Canterbury Bankstown Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any Council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the City of Canterbury Bankstown Council's standards.

Note: *It is recommended that discussions be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surface materials, **except** for permeable paving to be used in areas indicated in the Tree Protection and Removal Plan T-02 (Revision B), in the Arboricultural Impact Assessment Report dated 14 February 2023, prepared by Arterra Design. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The City of Canterbury Bankstown Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site and adjoining sites is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Arboricultural Impact Assessment Report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The

various service authorities shall be consulted regarding their requirements for the disconnection of services.

25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of two days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note: Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note: If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. The City of Canterbury Bankstown Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of five (5) working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note: *This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note: *Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

33. No building or demolition materials are to be stored on the footpath or roadway

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by The City of Canterbury Bankstown Council or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
35. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment Report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Sydney Water), confirming service availability prior to work commencing.

Note: *Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the City of Canterbury Bankstown Council's drainage code.
43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

DURING DEMOLITION / CONSTRUCTION

The following Identified Requirements are to be complied with whilst works are occurring on the site.

Landfill

44. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
45. Land fill materials must satisfy the following requirements:

- i. Shall be Virgin Excavated Natural Matter (VENM);
- ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radioactive matter; and
- iii. Shall be free of industrial waste and building debris.

Heritage

- 46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted, or if Indigenous items have been uncovered, the Department of Planning and Environment, shall be contacted.
- 47. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Planning and Environment.

Demolition

- 48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
- 49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
- 50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
- 51. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
- 52. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
- 53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
- 54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- 55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and

footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

57. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

58. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm, Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

60. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
61. No fires shall be lit, or waste materials burnt, on the site.
62. No washing of concrete forms or trucks shall occur on the site.
63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
65. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

67. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.

68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

70. The occupation of the development shall not commence until all the Identified Requirements of this Determination have been complied with.

Council Infrastructure Damage

71. The cost of repairing any damage caused to the City of Canterbury Bankstown Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the City of Canterbury Bankstown Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the City of Canterbury Bankstown Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

73. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of State Environmental Planning Policy (Housing) 2021.

Note: *This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.*

74. Only the following kinds of people shall be accommodated in the approved development:

- (a) seniors or people who have a disability; or
- (b) people who live within the same household with seniors or people who have a disability; or
- (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note: *It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:*

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

75. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
76. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
77. The footpath at bus stop (ID. 2163113) on the eastern side of Lowana Street shall be extended in accordance with the City of Canterbury Bankstown Council's specifications to provide an accessible path of travel from the pram ramp at the corner of Lowana Street and Alcoomie Street to the bus stop.

Note: *The responsible officer at the City of Canterbury Bankstown Council shall be contacted regarding council's specifications and any necessary approvals.*

78. Entry doors to units shall to be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

79. Construction works are to be carried out in accordance with the tree-sensitive construction methodologies and procedures specified in Sections 3.2 to 3.10 of the Arboricultural Impact Assessment Report (Arterra Design, 14 February 2023).
80. The palisade fencing around the rear private open space of the ground floor units must be spaced and angled to provide privacy for users of the private open space.
81. A Site Clearance Certificate is to be issued by a suitably qualified person for all three lots once all existing dwellings on the site are demolished to confirm the site is free of asbestos.

Requirements Resulting from Council Comments

82. The following replacement trees are to be planted forward of the property prior to occupation. The trees shall have a container size not less than 75 litres, shall comply with NATSPEC Specifying Trees: a guide to assessment of tree quality (2003) or Australian Standard AS 2303 – 2015. Tree stock for landscape use and be planted and maintained in accordance with Council's street tree planting Standard Drawing No. S-201.

Species	Location
6 x <i>Tristaniopsis laurina</i> (Water Gum), OR 6 x <i>Buckinghamia celsissima</i> (Ivory Curl), OR 6 x <i>Cupaniopsis anacardioides</i> (Tuckeroo)	To be planted on the nature strip forward of 18-22 Mundamatta Street, Villawood. Trees to be spaced evenly between the New Vehicle Footpath Crossings no closer than 2.5m to the New Vehicle Footpath Crossings.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

Decision Statement

Project No. BGYHY

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

18-22

Street or property name

Mundamatta Street

Suburb, town or locality

Villawood, NSW

Postcode

2163

Local Government Area(s)

Canterbury Bankstown

Real property description (Lot and DP)

Lots 814, 815 & 816 in DP 36608

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing dwellings and structures, removal of trees, and the construction of a seniors housing development comprising of 12 independent living seniors housing units (7 x 1 bedroom and 5 x 2 bedroom units) with associated landscaping and fencing, surface parking for 6 cars, consolidation of 3 lots into a single lot and construction of a stormwater drainage pipeline and easement over Lot 807 DP 36608, No. 82 Lowana Street.

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from the City of Canterbury Bankstown Council, a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF it was decided that the proposed group homes will have economic and social benefits and any

minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 7. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed..........

Dated..... 24 August 2023.....

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

[3406] 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163
LOTS 814-816 DP 36608 [LOT 807 DP 36608 NO. 82 FOR SW EASEMENT ONLY]
BGYHY- SENIORS HOUSING DEVELOPMENT
LAND AND HOUSING CORPORATION





Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No: COVER PAGE		Body Corporate Reg No: DA-0.00		
Drawing Title:		Drawing No:		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsher	DEP0001741

PROPOSED DEVELOPMENT DATA - SEPP HOUSING 2021			
Site Area	2210.36 m²		
Number of dwellings	12 units (7 x 1 Bed + 5 x 2 Beds)		
Front Setback	Control	Requirement	Proposed
	Canterbury Bankstown Council	5.5m	5.5m
Side Setback	Canterbury Bankstown Council	3 m	3 m
Rear Setback	Canterbury Bankstown Council	Set by Sewerline and easement	Set by Sewerline and easement
Height	SEPP Housing 2021	9.5m building height (top of ridge)	7.2m building height (top of ridge)
Floor Space Ratio	SEPP Housing 2021	0.5 : 1	0.36:1
	Canterbury Bankstown Council	N/A	N/A
Landscape	SEPP Housing 2021	35m2 per unit = 420m2.	950 m2
Deep Soil Zone 15% of site with minimum dimensions of 3m	SEPP Housing 2021	331.5 m2	583 m2
65% of this at rear	SEPP Housing 2021	378.95 m2	488 m2
70% of dwellings to have three hours sunlight to living areas and to associated private open space	SEPP Housing 2021	9	10
			83% of development
Parking	SEPP Housing 2021	0.4 spaces / 1 bed (7) = 2.8 0.5 spaces / 2bed (5) = 2.5 TOTAL SPACES = 6	6 spaces: 2 Accessible spaces with common shared area 1 separate dedicated Accessible space 3 standard spaces

Note: Refer to DA-11.00 for GFA definitions and calculations

LEGEND: BLOCK PLAN

-  PROPOSED DEVELOPMENT
-  BOUNDARY LINE TO LOTS

NOTES:
THERE IS NO TYPICAL LOT SIZE OR SHAPE IN THE VICINITY OF THE NEW DEVELOPMENT.

DA DRAWING LIST				
SHEET NO	SHEET NAME	CURRENT REVISION	CURRENT REVISION DESCRIPTION	CURRENT REVISION DATE
DA-0.00	COVER PAGE	8	Facade & G. Enclosure Update	14/02/23
DA-0.11	SITE ANALYSIS	8	Stage 5 Approval- Addendum	17/11/22
DA-0.12	SITE ANALYSIS	7	Stage 5 Approval- Addendum	17/11/22
DA-0.20	SITE PLAN	9	Access Review	22/11/22
DA-1.20	GA - GROUND	12	Facade & G. Enclosure Update	14/02/23
DA-1.21	GA - LEVEL 1	9	Stage 5 Approval- Addendum	17/11/22
DA-1.22	GA - ROOF PLAN	8	Stage 5 Approval- Addendum	17/11/22
DA-1.65	SHADOW DIAGRAMS	7	Stage 5 Approval- Addendum	17/11/22
DA-1.66	SHADOW DIAGRAMS	7	Stage 5 Approval- Addendum	17/11/22
DA-1.68	EYES FROM THE SUN	4	Stage 5 Approval- Addendum	17/11/22
DA-1.69	EYES FROM THE SUN	4	Stage 5 Approval- Addendum	17/11/22
DA-1.70	EYES FROM THE SUN	4	Stage 5 Approval- Addendum	17/11/22
DA-3.00	EXTERNAL ELEVATIONS	8	Facade & G. Enclosure Update	14/02/23
DA-4.00	BUILDING SECTIONS	7	Stage 5 Approval- Addendum	17/11/22
DA-6.00	3D IMAGES & STREETScape ELEVATION	7	Stage 5 Approval- Addendum	17/11/22
DA-11.00	AREA CALCULATIONS	7	Stage 5 Approval- Addendum	17/11/22

Project summary

Project name	18-22 Mundamatta St, Villawood NSW 2163		
Street address	18-22 Mundamatta Street Villawood NSW 2163		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	deposited DP36608		
Lot no.	814		
Section no.	-		
No. of residential flat buildings	1		
No. of units in residential flat buildings	12		
No. of multi-dwelling houses	0		
No. of single dwelling houses	0		
Project score			
Water	✔ 40	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 48	Target 45	

Refer to 'BASIX Certificate - 18-22 Mundamatta St, Villawood NSW-Rev1.3' for BASIX conditions
Refer to 'NatHERS Certificate - 18-22 Mundamatta St, Villawood NSW'

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval- Addendum	17/11/22
8	Facade & G. Enclosure Update	14/02/23

NOTES : PART 5 APPLICATION

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3. EXISTING STRUCTURES AND SERVICES
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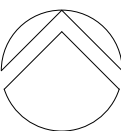
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Project
**18-22 MUNDAMATTA STREET,
VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT**

Sheet Title

COVER PAGE



Drawn
SC
Checked
CS
Scale
As indicated @ A1

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Project No.
3406
Sheet No.
DA-0.00
Revision
8



Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: SITE ANALYSIS 1		Drawing No: DA-0.11		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
7	16.11.22	For Approval	Craig Shelsher	DEP0001741



Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Coordination	26/08/22
5	For Approval	16/09/22
6	DA Issue	26/10/22
7	Part 5 Application	16/11/22
8	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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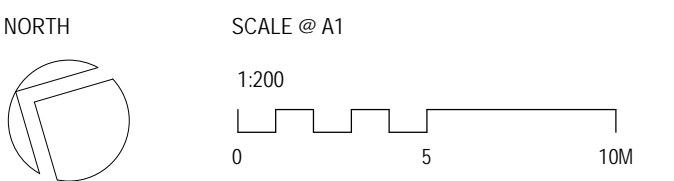

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Project
**18-22 MUNDAMATTA STREET,
VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT**

Sheet Title

SITE ANALYSIS



Drawn SC
Checked CS
Scale As indicated @ A1

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Project No. 3406
Sheet No. DA-0.11
Revision 8

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Regulated Design Record					
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163					
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION					
Consent No:			Body Corporate Reg No:		
Drawing Title: SITE ANALYSIS 2		Drawing No: DA-0.12			
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.	
6	16.11.22	For Approval	Craig Shelsher	DEP0001741	



SITE LOCATION



1- VIEW TO THE SITE - MUNDAMATTA STREET



3- STREET VIEW TO THE SITE (FROM LOT 16 - 24) - MUNDAMATTA STREET



5- STREET VIEW TO THE SITE (FROM LOT 24 - 16) - MUNDAMATTA STREET



NEIGHBOURS PRIVATE OPEN SPACE



2- VIEW FROM THE SITE - FRONT NEIGHBOURS - MUNDAMATTA STREET



4- STREET VIEW TO THE SITE (FROM LOT 21 - 27) - MUNDAMATTA STREET



6- STREET VIEW TO THE SITE (FROM LOT 27 - 21) - MUNDAMATTA STREET

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
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7	Stage 5 Approval- Addendum	17/11/22

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Project
18-22 MUNDAMATTA STREET,
VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT

Sheet Title

SITE ANALYSIS

Drawn
SC

Checked
CS

Scale
1 : 1 @ A1

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Project No.
3406

Sheet No.
DA-0.12

Revision
7

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Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title:		Drawing No:		
Rev	Date	Description	DP Full Name	Reg. No.
7	16.11.22	For Approval	Craig Shelsher	DEP0001741



1 SITE PLAN
1 : 200

DEMOLISHED LEGEND	
	EXISTING TREE RETAINED EXTENT OF CANOPY AS VERIFIED BY SITE MEASURE AND AERIAL PHOTOS
	EXISTING TREE REMOVED (NOTE: NO TPZS SHOWN FOR THESE TREES)
	NOMINAL TREE PROTECTION ZONE RADIUS (TPZ)
	NOMINAL STRUCTURAL ROOT ZONE (SRZ) SHOWN WHERE RELEVANT
	REFER TO ARBORIST REPORT AND INSTALL TREE PROTECTION TO AS 4970

LEGEND	
	COMMON LANDSCAPING
	DEEP SOIL ZONE
	COMMUNAL PATH
	PRIVATE OPEN SPACE

• POS OF GROUND FLOOR ARE BIGGER TO COMPLY WITH SEPP (MIN 15 SQ.MTS)
• ALL BALCONY AREAS TO COMPLY WITH SEPP AND LAHC STANDARDS
• ALL UNITS COMPLY WITH AS1428.1 CLEARANCES INTERNALLY
• ALL UNITS HAVE ALLOCATED SPACE FOR PROVISION OF GRABRAILS IN BATHROOMS

NOTE:
REFER TO LANDSCAPE PLAN FOR PLANT SCREENING IN WEST FACING FRONT GARDENS
ALL AREA CALC'S AND RL'S ARE INDICATIVE SUBJECT TO FUTURE DESIGN DEVELOPMENT

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Coordination	26/08/22
5	For Approval	16/09/22
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8	Stage 5 Approval- Addendum	17/11/22
9	Access Review	22/11/22

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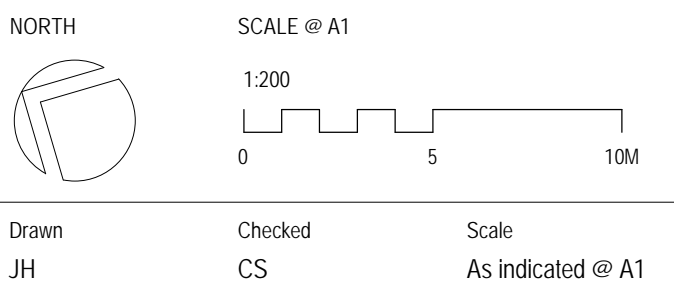
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Project
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VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT

Sheet Title

SITE PLAN



Drawn	Checked	Scale
JH	CS	As indicated @ A1

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Project No.
3406
Sheet No.
DA-0.20
Revision
9

Shelsh

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: GA - GROUND		Drawing No: DA-1.20		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
9	16.11.22	For Approval	Craig Shelsh	DEP0001741

UNIT AREA SCHEDULE			P.O.S AREA		AREA TOTAL
NO.	TYPE	AREA	TYPE	AREA	
UNIT 1	1BED	60.50 m ²	P.O.S	24.99 m ²	85.49 m ²
UNIT 2	1BED	59.52 m ²	P.O.S	24.57 m ²	84.08 m ²
UNIT 3	1BED	59.94 m ²	P.O.S	20.04 m ²	79.98 m ²
UNIT 4	2BED	70.59 m ²	P.O.S	43.08 m ²	113.67 m ²
UNIT 5	2BED	70.84 m ²	P.O.S	42.73 m ²	113.56 m ²
UNIT 6	2BED	71.19 m ²	P.O.S	76.18 m ²	147.36 m ²
UNIT 7	2BED	75.35 m ²	P.O.S	15.02 m ²	90.38 m ²
UNIT 8	1BED	61.12 m ²	BALCONY	11.26 m ²	72.38 m ²
UNIT 9	1BED	59.50 m ²	BALCONY	11.85 m ²	71.35 m ²
UNIT 10	1BED	59.94 m ²	BALCONY	11.14 m ²	71.07 m ²
UNIT 11	2BED	70.20 m ²	BALCONY	10.54 m ²	80.74 m ²
UNIT 12	1BED	59.18 m ²	BALCONY	11.09 m ²	70.28 m ²
Grand total		777.87 m ²		302.49 m ²	1080.36 m ²

- DRAWING LEGEND
- UNIT TYPE - 1 BED
 - UNIT TYPE - 2 BED
 - PRIVATE OPEN SPACE / BALCONY
 - TPZ ENCROACHMENT ZONE
 - DENOTES TREE TRUNK. REFER TO ARBORIST REPORT FOR DETAILS
 - TREE CANOPY. REFER TO ARBORIST REPORT FOR DETAILS
 - STRUCTURAL ROOT ZONE. REFER TO ARBORIST REPORT FOR DETAILS
 - TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR DETAILS
 - TREE TO BE REMOVED. REFER TO ARBORIST REPORT FOR DETAILS
 - EXISTING RL. REFER TO SURVEY PLAN FOR DETAILS
 - PROPOSED RL
 - WATERGUM TREES PROPOSED (EXACT LOCATION TBC)

Revision	Description	Date
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Coordination	26/08/22
5	For Access Review	09/09/22
6	For Approval	16/09/22
7	DA Issue	26/10/22
8	Client Review	07/11/22
9	Part 5 Application	16/11/22
10	Stage 5 Approval-Addendum	17/11/22
11	Access Review	22/11/22
12	Facade & G. Enclosure Update	14/02/23

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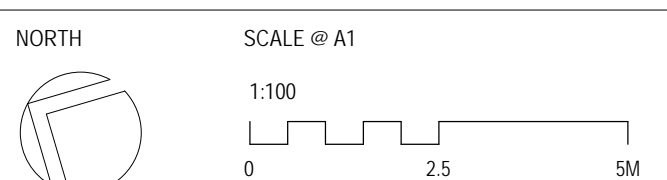


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SENIORS HOUSING DEVELOPMENT

Sheet Title

GA - GROUND



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Project No. 3406 Sheet No. DA-1.20 Revision 12



14/02/2023 19:35:14



Regulated Design Record					
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163					
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION					
Consent No:			Body Corporate Reg No:		
Drawing Title: GA - LEVEL 1		Drawing No: DA-1.21			
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.	
8	16.11.22	For Approval	Craig Shelsher	DEP0001741	

ALL AREAS TILE FINISH.
BEDROOMS CARPET FINISH.
REFER TO SITE PLAN FOR
FLOOR PLAN CONTEXT

ALL GLAZED SLIDING DOORS TO
HAVE FLYSCREEN

UNIT AREA SCHEDULE			P.O.S AREA		AREA TOTAL
NO.	TYPE	AREA	TYPE	AREA	
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UNIT 2	1BED	59.52 m ²	P.O.S	24.57 m ²	84.08 m ²
UNIT 3	1BED	59.94 m ²	P.O.S	20.04 m ²	79.98 m ²
UNIT 4	2BED	70.69 m ²	P.O.S	43.08 m ²	113.67 m ²
UNIT 5	2BED	70.84 m ²	P.O.S	42.73 m ²	113.56 m ²
UNIT 6	2BED	71.19 m ²	P.O.S	76.18 m ²	147.36 m ²
UNIT 7	2BED	75.35 m ²	P.O.S	15.02 m ²	90.38 m ²
UNIT 8	1BED	61.12 m ²	BALCONY	11.26 m ²	72.38 m ²
UNIT 9	1BED	59.50 m ²	BALCONY	11.14 m ²	71.07 m ²
UNIT 10	1BED	59.94 m ²	BALCONY	11.14 m ²	71.07 m ²
UNIT 11	2BED	70.20 m ²	BALCONY	10.54 m ²	80.74 m ²
UNIT 12	1BED	59.18 m ²	BALCONY	11.09 m ²	70.28 m ²
Grand total		777.87 m ²		302.49 m ²	1080.36 m ²

DRAWING LEGEND

UNIT TYPE - 1 BED

UNIT TYPE - 2 BED

PRIVATE OPEN SPACE / BALCONY

TPZ ENCROACHMENT ZONE

● DENOTES TREE TRUNK. REFER TO ARBORIST REPORT FOR DETAILS

○ TREE CANOPY. REFER TO ARBORIST REPORT FOR DETAILS

○ STRUCTURAL ROOT ZONE. REFER TO ARBORIST REPORT FOR DETAILS

○ TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR DETAILS

○ TREE TO BE REMOVED. REFER TO ARBORIST REPORT FOR DETAILS

EXISTING RL. REFER TO SURVEY PLAN FOR DETAILS

PROPOSED RL

○ WATERGUM TREES PROPOSED (EXACT LOCATION TBC)

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage 8 Submission	05/08/22
4	For Coordination	26/08/22
5	For Approval	16/09/22
6	DA Issue	26/10/22
7	Client Review	27/11/22
8	Part 5 Application	16/11/22
9	Stage 5 Approval-Addendum	17/11/22

NOTES : PART 5 APPLICATION

1. DESIGN RESOLUTION

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2. GRAPHIC PRESENTATION

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3. EXISTING STRUCTURES AND SERVICES

Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

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LAND AND HOUSING CORPORATION



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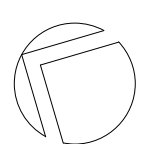
Project

18-22 MUNDAMATTA STREET,
VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT

Sheet Title

GA - LEVEL 1

NORTH



SCALE @ A1

1:100

0 2.5 5M

Drawn

SC

Checked

CS

Scale

As indicated @ A1

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Project No.

3406

Sheet No.

DA-1.21

Revision

9

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Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: GA - ROOF PLAN		Drawing No: DA-1.22		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
7	16.11.22	For Approval	Craig Shelsher	DEP0001741

EXTERNAL FINISHES SCHEDULE			
TAG	PROFILE	FINISH/ MANUFACTURER	COLOUR
B1	- FACE BRICK	- AUSTRAL	- BOWRAL BROWN
GT	- GUTTER	- COLORBOND	- WOODLAND GREY
R1	- ROOF	- COLORBOND	- WOODLAND GREY

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Client Review	01/11/22
7	Part 5 Application	16/11/22
8	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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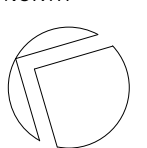
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18-22 MUNDAMATTA STREET,
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SENIORS HOUSING DEVELOPMENT

Sheet Title

GA - ROOF PLAN

NORTH



SCALE @ A1
1:100
0 2.5 5M

Drawn SC	Checked CS	Scale As indicated @ A1
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Project No. 3406	Sheet No. DA-1.22	Revision 8
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Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: SHADOW DIAGRAMS		Drawing No: DA-1.65		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsher	DEP0001741

	DEVELOPMENT SHADOW
	EXISTING CONTEXT SHADOW

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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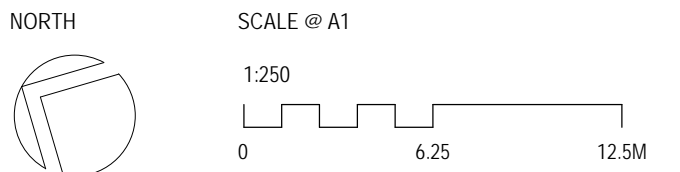
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SENIORS HOUSING DEVELOPMENT

Sheet Title

SHADOW DIAGRAMS



Drawn SC	Checked CS	Scale As indicated @ A1
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Project No.
3406

Sheet No.
DA-1.65

Revision
7

1 SHADOW DIAGRAMS AT 9AM (21 JUNE)
1 : 250

2 SHADOW DIAGRAMS AT 10AM (21 JUNE)
1 : 250

3 SHADOW DIAGRAMS AT 11AM (21 JUNE)
1 : 250

4 SHADOW DIAGRAMS AT 12PM (21 JUNE)
1 : 250

Cheer

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: SHADOW DIAGRAMS		Drawing No: DA-1.66		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsher	DEP0001741

	DEVELOPMENT SHADOW
	EXISTING CONTEXT SHADOW

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval Addendum	17/11/22

NOTES : PART 5 APPLICATION

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1 SHADOW DIAGRAMS AT 1PM (21 JUNE)
1 : 250

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Project
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SENIORS HOUSING DEVELOPMENT

Sheet Title

SHADOW DIAGRAMS

NORTH

SCALE @ A1

1:250

0 6.25 12.5M

Drawn SC	Checked CS	Scale As indicated @ A1
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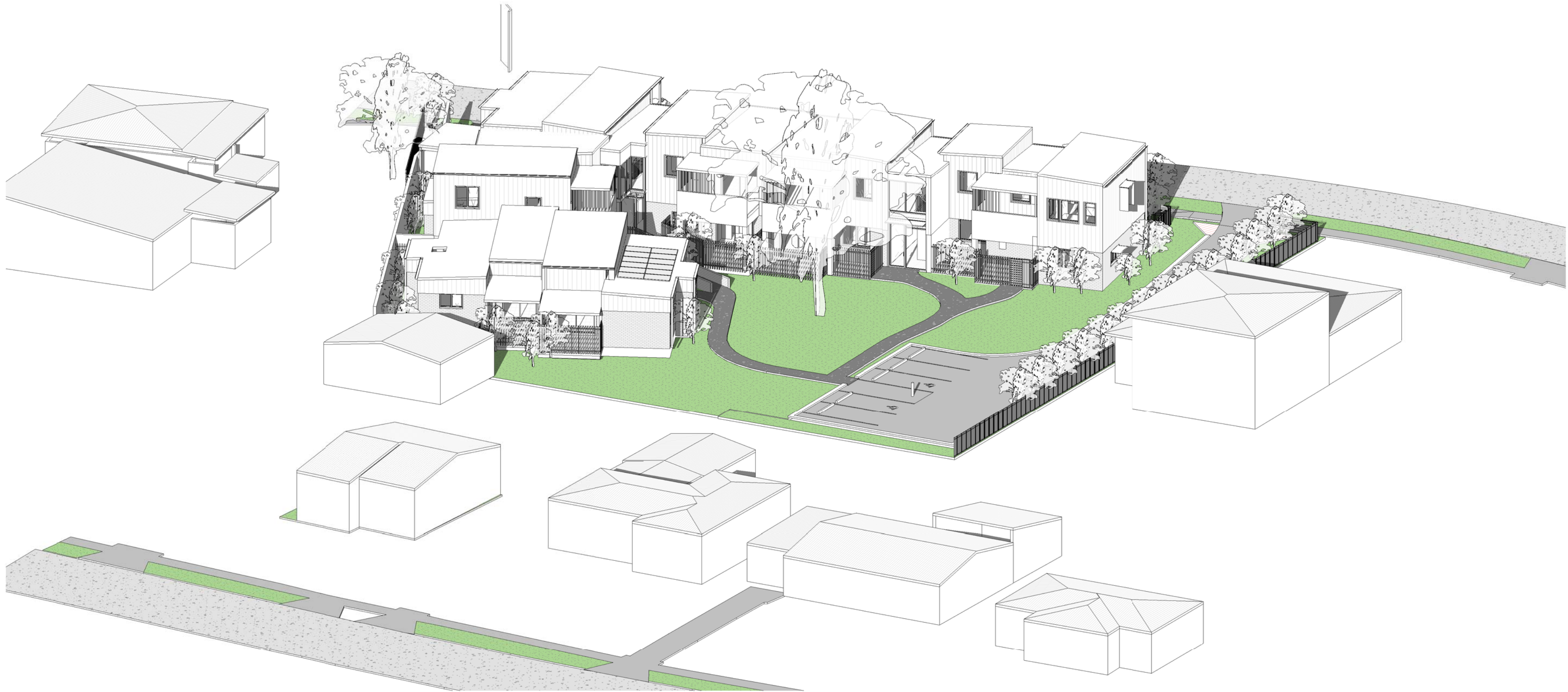
Project No. 3406	Sheet No. DA-1.66	Revision 7
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2 SHADOW DIAGRAMS AT 2PM (21 JUNE)
1 : 250

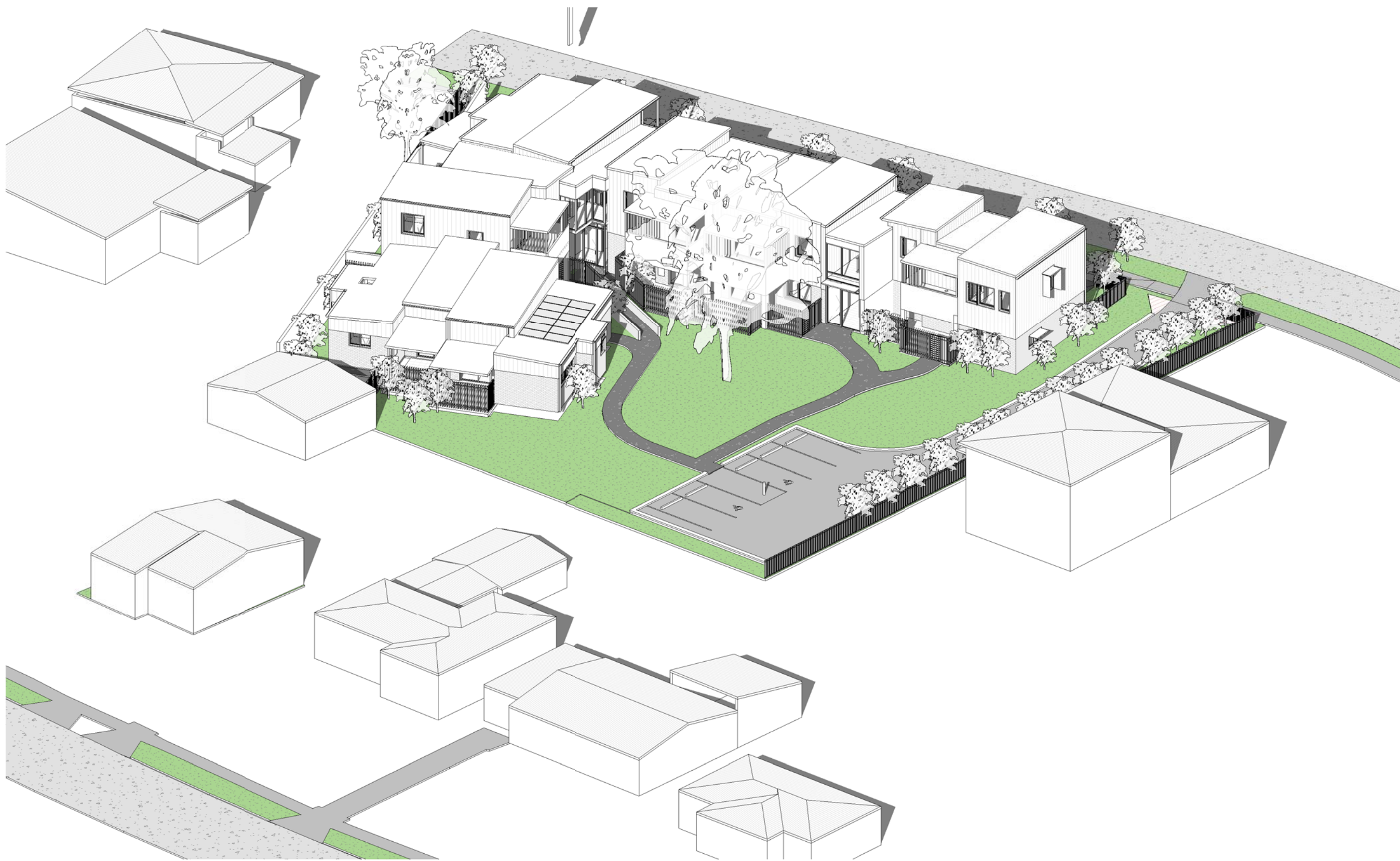
3 SHADOW DIAGRAMS AT 3PM (21 JUNE)
1 : 250



Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: AREA CALCULATIONS		Drawing No: DA-11.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
3	16.11.22	For Approval	Craig Shelsher	DEP0001741



1 EYES FROM THE SUN - 0900 (21 JUNE)



2 EYES FROM THE SUN - 1000 (21 JUNE)



3 EYES FROM THE SUN - 1100 (21 JUNE)

Revision	Description	Date
1	Stage 8 Submission	05/08/22
2	For Approval	16/09/22
3	Part 5 Application	16/11/22
4	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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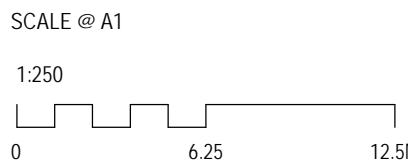


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SENIORS HOUSING DEVELOPMENT

Sheet Title

EYES FROM THE SUN



Drawn	Checked	Scale
SC	CS	1 : 1 @ A1

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Project No.
3406
Sheet No.
DA-1.68
Revision
4



Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: AREA CALCULATIONS		Drawing No: DA-11.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
3	16.11.22	For Approval	Craig Shelsher	DEP0001741

Revision	Description	Date
1	Stage 8 Submission	05/08/22
2	For Approval	16/09/22
3	Part 5 Application	16/11/22
4	Stage 5 Approval- Addendum	17/11/22

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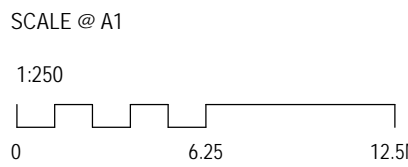
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VILLAWOOD NSW 2163 LOTS 814-816
SENIORS HOUSING DEVELOPMENT

Sheet Title

EYES FROM THE SUN



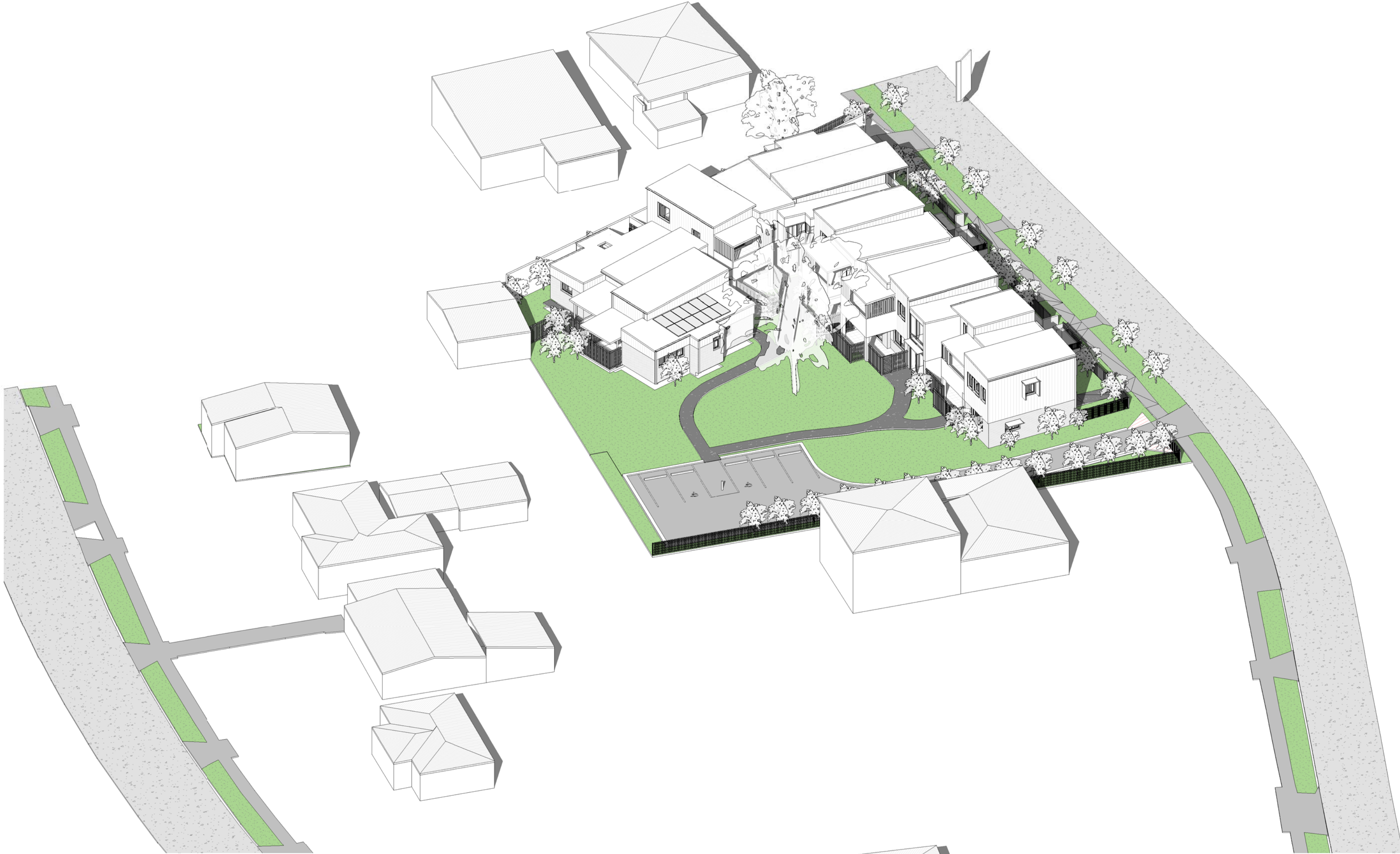
Drawn	Checked	Scale
SC	CS	1 : 1 @ A1

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Project No.
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Sheet No.
DA-1.69

Revision
4



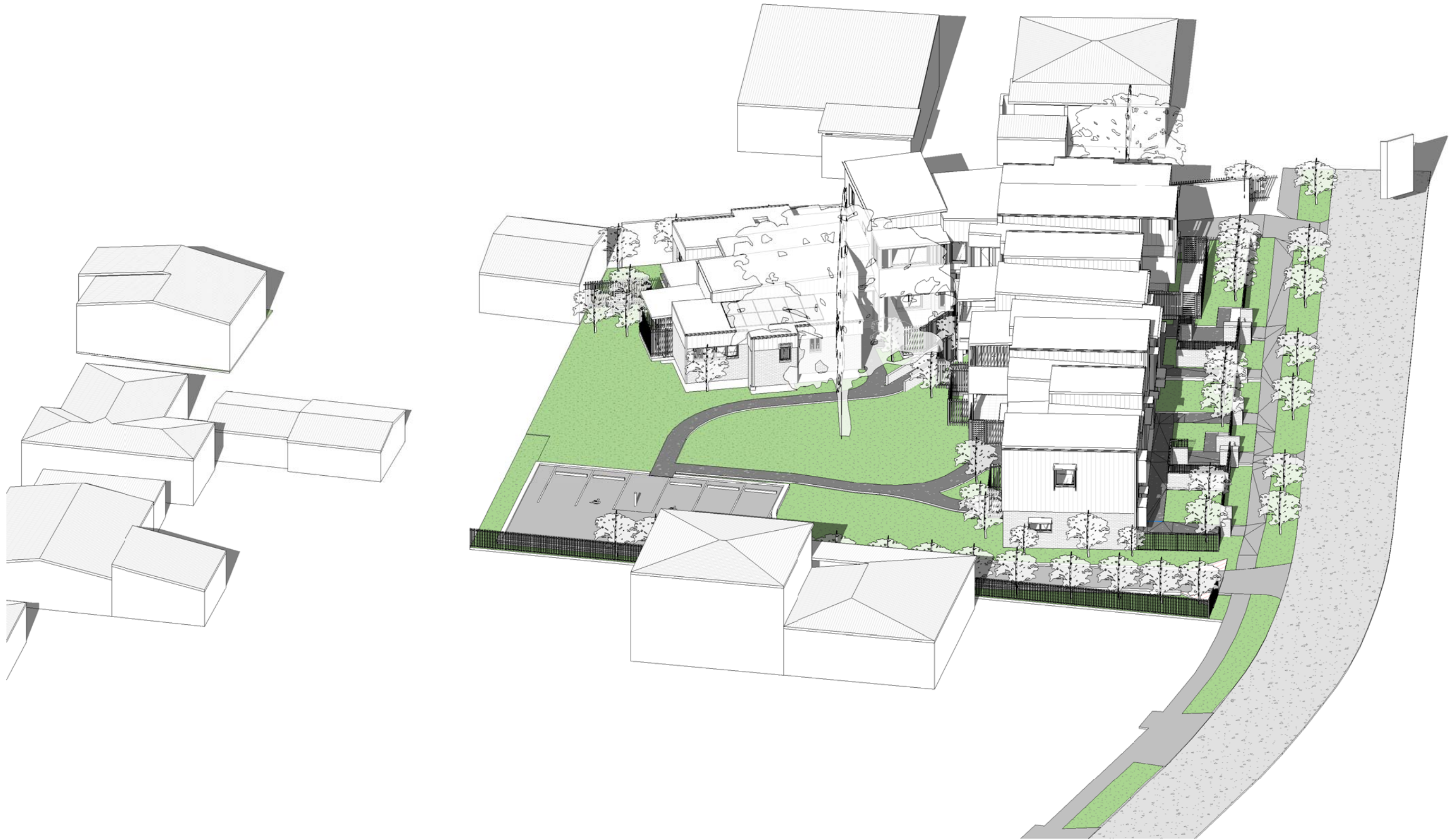
1 EYES FROM THE SUN - 1200 (21 JUNE)



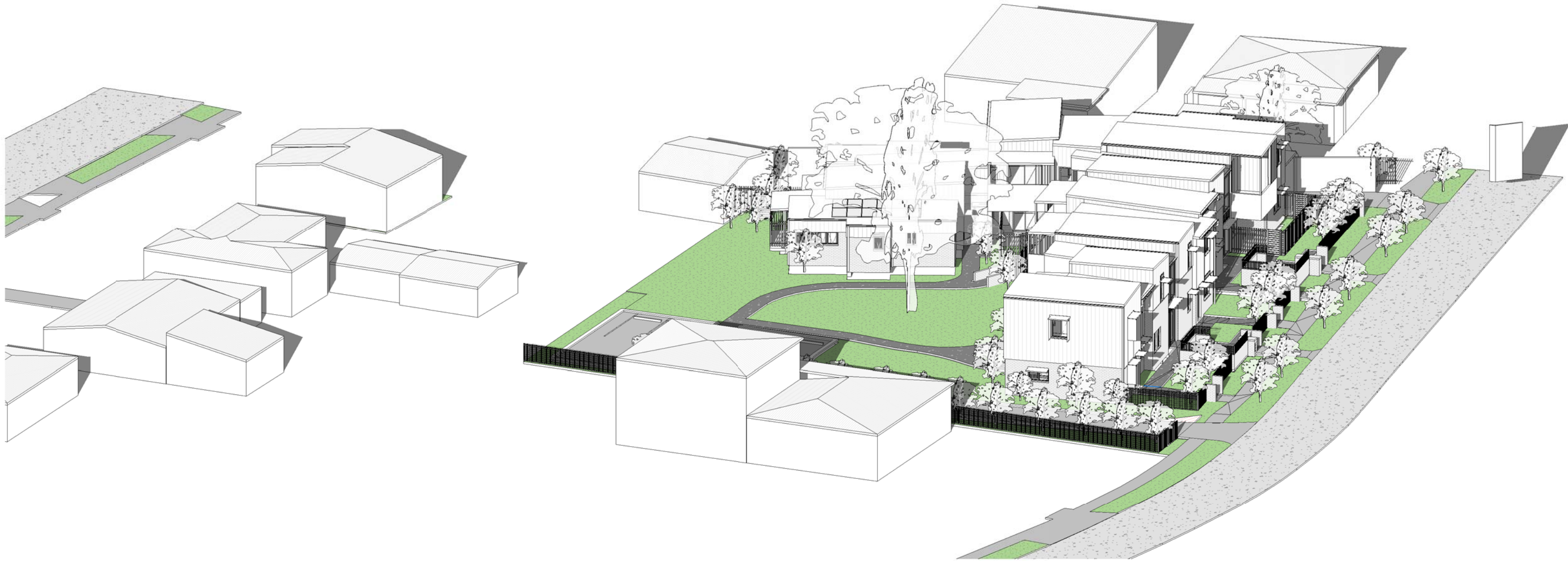
2 EYES FROM THE SUN - 1300 (21 JUNE)

Shelsh

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: AREA CALCULATIONS		Drawing No: DA-11.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
3	16.11.22	For Approval	Craig Shelsher	DEP0001741



1 EYES FROM THE SUN - 1400 (21 JUNE)



2 EYES FROM THE SUN - 1500 (21 JUNE)

SOLAR ACCESS TABLE				
UNIT No.	LOUNGE ROOM	SOLAR ACCESS	POS	SOLAR ACCESS
UNIT 1	9am -12 noon	3hrs - complies with SEPP	11am - 1pm	2hrs - complies with SEPP
UNIT 2	9am -11am	2hrs - complies with SEPP	11am - 3pm	4hrs - complies with SEPP
UNIT 3	9am -11am	2hrs - complies with SEPP	11am - 3pm	4hrs - complies with SEPP
UNIT 4	-	Non compliant	2pm- 3pm	Non compliant
UNIT 5	1pm - 3pm	2hrs- complies with SEPP	12 noon - 3pm	3hrs - complies with SEPP
UNIT 6	9am -12 noon	3hrs - complies with SEPP	9am- 2pm	5hrs - complies with SEPP
UNIT 7	9am -12 noon	3hrs - complies with SEPP	9am -3pm	6hrs - complies with SEPP
UNIT 8	9am - 12 noon	3hrs - complies with SEPP	11am - 1pm	2hrs- complies with SEPP
UNIT 9	9am - 12 noon	3hrs - complies with SEPP	11am - 3pm	4hrs - complies with SEPP
UNIT 10	9am - 12 noon	3hrs - complies with SEPP	11am - 3pm	4hrs - complies with SEPP
UNIT 11	-	Non compliant	2pm nominally	Non compliant
UNIT 12	11am - 3pm	4hrs - complies with SEPP	9am -1pm	4hrs - complies with SEPP
10 Units achieve SEPP requirements for (83% of total development)				
SEPP requirement: min 2hrs solar access between 9am & 3pm mid- winter				
No. 14	9am – 2pm	5hrs - complies with SEPP	9am -1pm	4hrs - complies with SEPP
Mundamatta St				
No. 16	10am – 2pm	4hrs - complies with SEPP	9am -1pm	4hrs - complies with SEPP
Mundamatta St				

Revision	Description	Date
1	Stage 8 Submission	05/08/22
2	For Approval	16/09/22
3	Part 5 Application	16/11/22
4	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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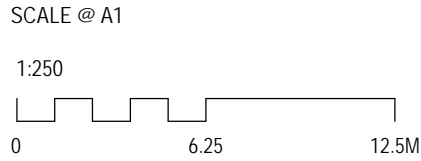
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Project
**18-22 MUNDAMATTA STREET,
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SENIORS HOUSING DEVELOPMENT**

Sheet Title

EYES FROM THE SUN



Drawn SC	Checked CS	Scale 1 : 1 @ A1
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Nominated Architect: Craig Shelsher 8259 (NSW), 5612 (QLD)

Project No. 3406	Sheet No. DA-1.70	Revision 4
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Chish

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: EXTERNAL ELEVATIONS		Drawing No: DA-3.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsner	DEP0001741



1 BUILDING ELEVATION 1 - MUNDAMUTTA STREET
1 : 100

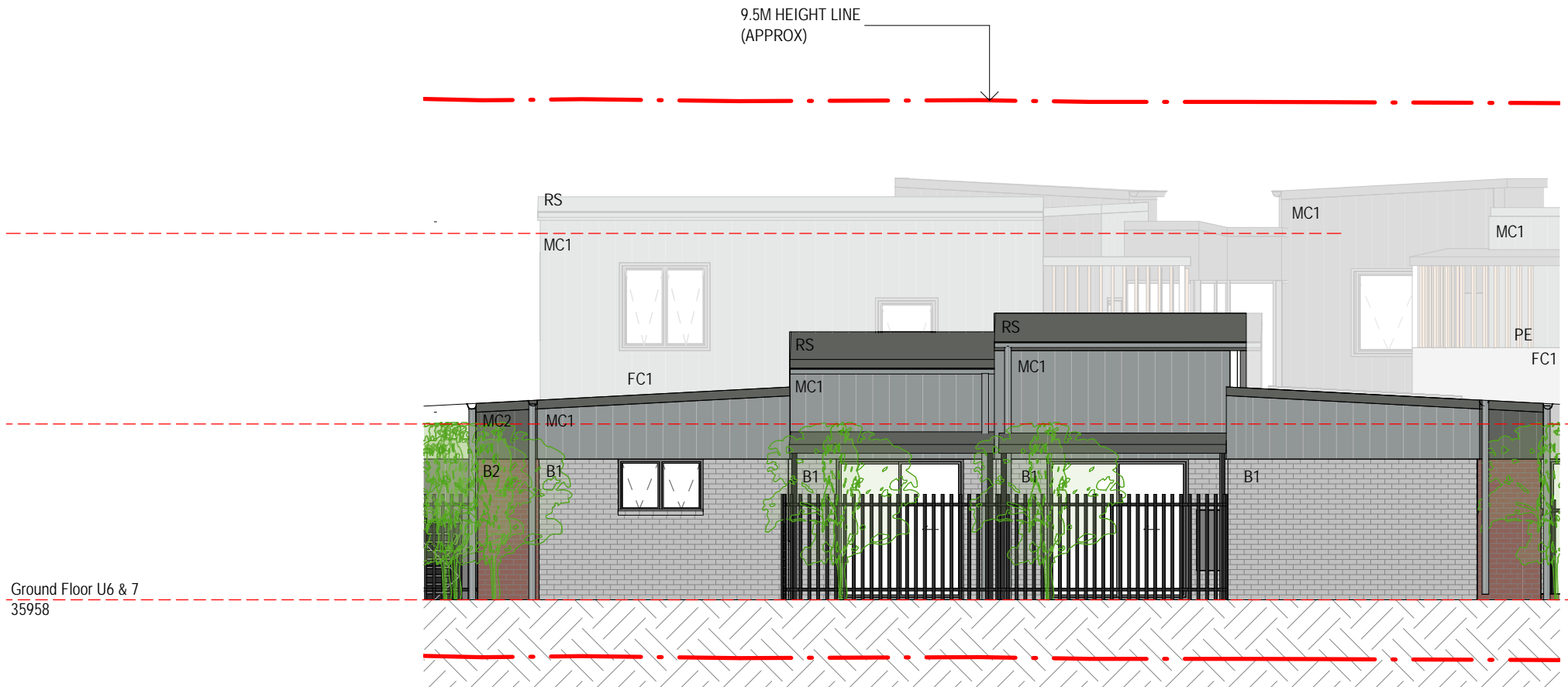


2 BUILDING ELEVATION 2
1 : 100

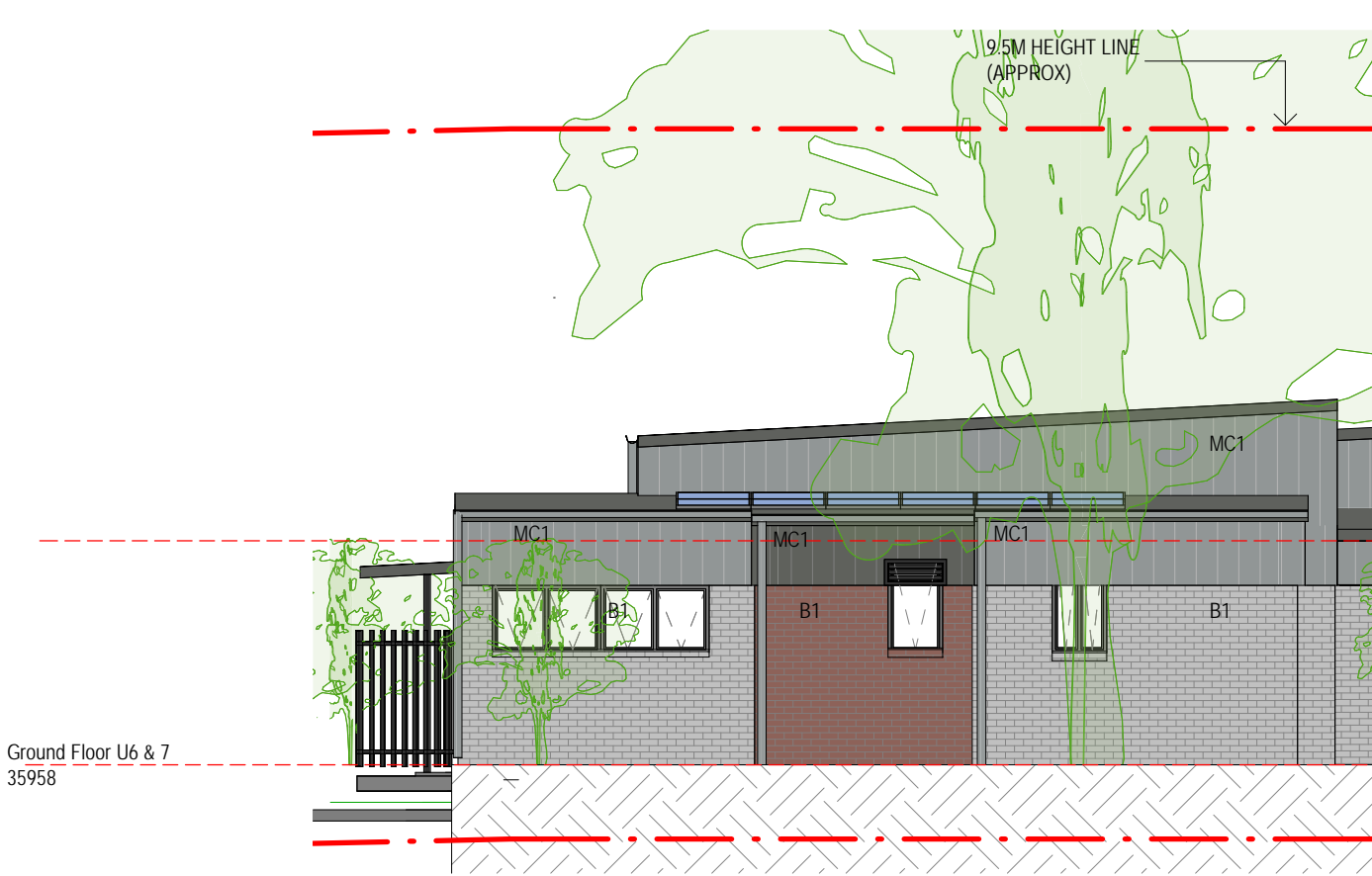


3 BUILDING ELEVATION 3
1 : 100

EXTERNAL LEGEND	
TAG	DESCRIPTION
B1	- BRICK CLADDING - TYPE 1
B2	- BRICK CLADDING - TYPE 2
CY	- WEATHER CANOPY OVER DOOR
DP	- DOWNPIPE
FC1	- FIBRE CEMENT INFILL PANEL
FC2	- FIBRE CEMENT INFILL PANEL
GT	- GUTTER
WH	- WINDOW HOOD
MC1	- METAL CLADDING - TYPE 1
MC2	- METAL CLADDING - TYPE 2
PE	- PERGOLA
RS	- ROOF
WB	- WHIRLY BIRD



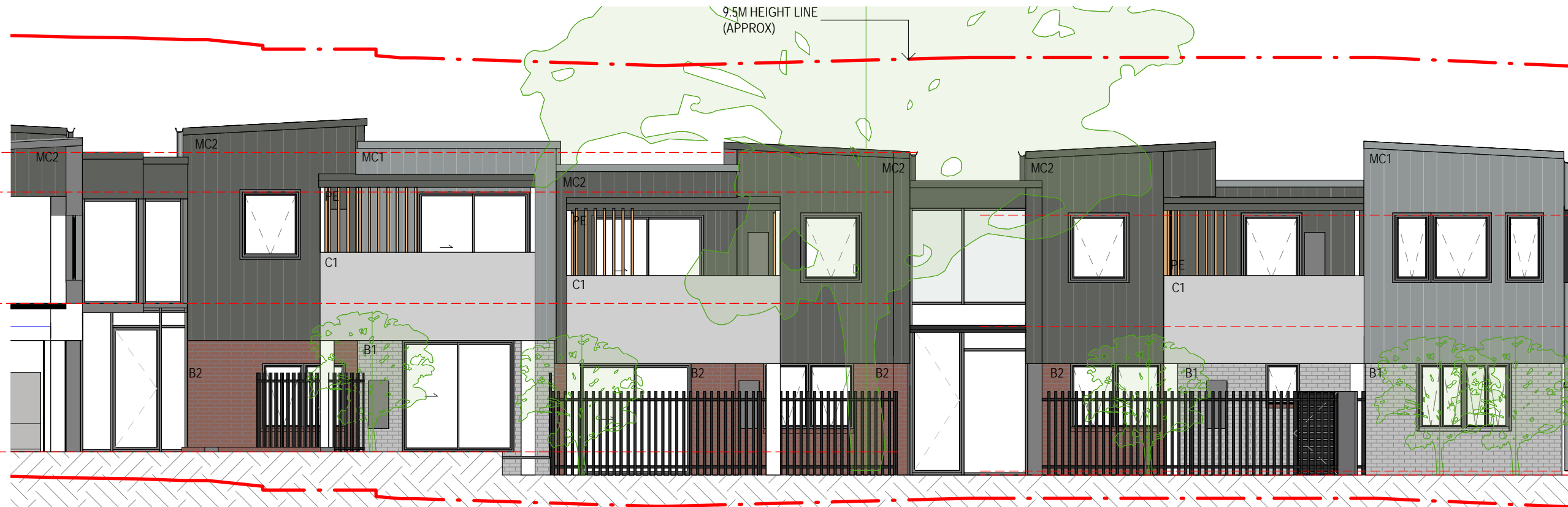
4 BUILDING ELEVATION 4
1 : 100



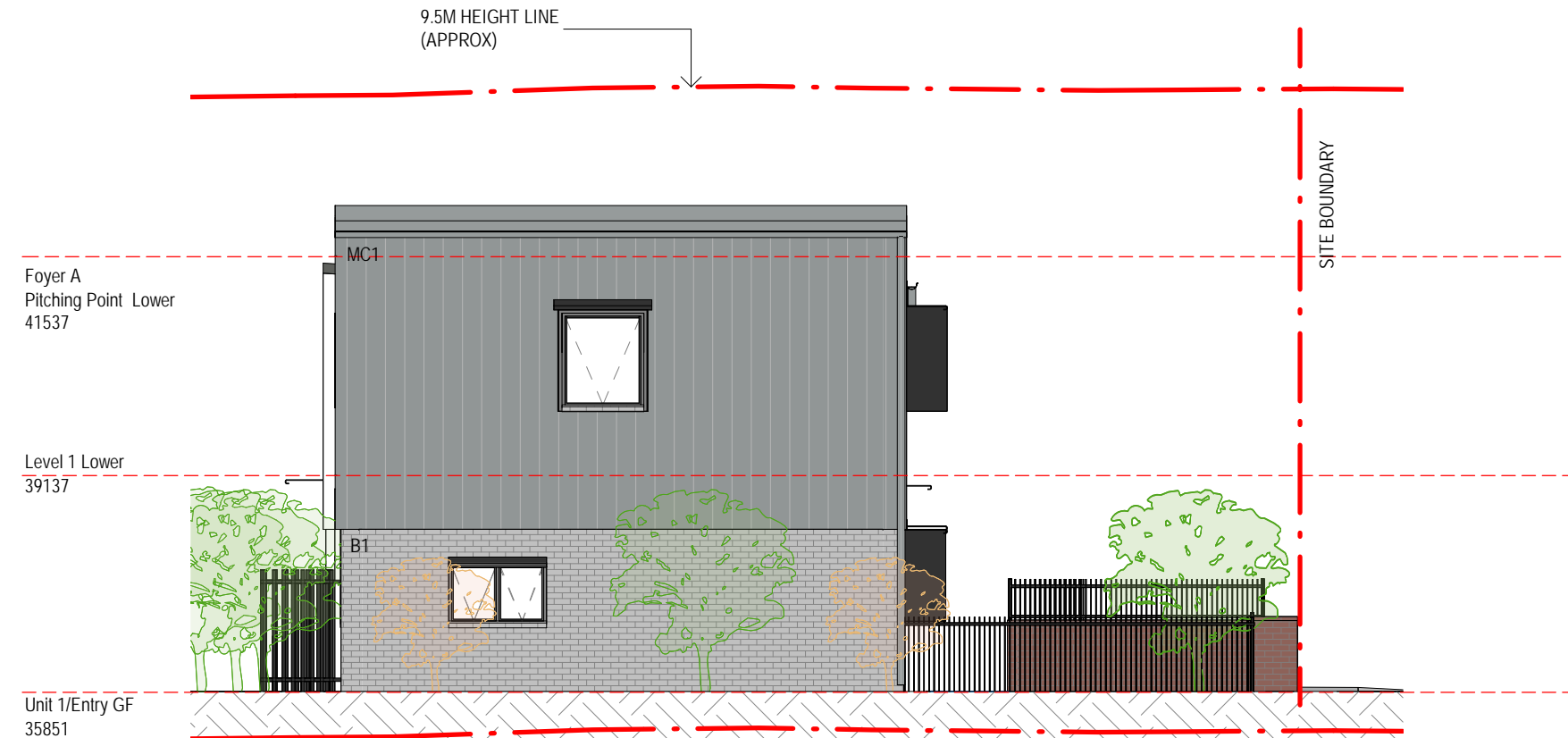
5 BUILDING ELEVATION 5
1 : 100

EXTERNAL MATERIALS

B1 SUPPLIER: AUSTRAL BRICKS COLOUR: TITANIUM	FC1 FC SHEET PAINT FINISHED TO MATCH COLORBOND BLUEGUM
B2 SUPPLIER: AUSTRAL BRICKS COLOUR: BLACKSTONE	FC2 FC SHEET PAINT FINISHED TO MATCH COLORBOND BASALT
MC1 METAL CLADDING: LYSAGHT COLOUR: BLUEGUM	WINDOW AND DOOR FRAMES POWER COAT FINISH RANGE: DURALOY COLOUR: BASALT FINISH: SATIN CODE: 27296675
MC2 METAL CLADDING: LYSAGHT COLOUR: BASALT	DOORS RANGE: DULUX COLOUR: LUSH HOSTA FINISH: SATIN CODE: S20C7
RS ROOF SHEETING: LYSAGHT COLOUR RANGE: BASALT	PE BALCONY SCREENING KNOTWOOD SPRUCE
C1 CONCRETE UPTURN	



6 BUILDING ELEVATION 6
1 : 100



7 BUILDING ELEVATION 7
1 : 100

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval- Addendum	17/11/22
8	Facade & G. Enclosure Update	14/02/23

NOTES : PART 5 APPLICATION

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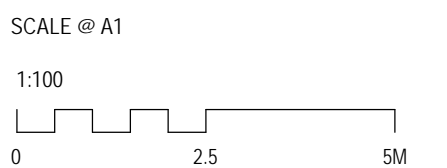


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SENIORS HOUSING DEVELOPMENT

Sheet Title

EXTERNAL ELEVATIONS



Drawn	Checked	Scale
SC	CS	As indicated @ A1

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Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: BUILDING SECTIONS		Drawing No: DA-4.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsher	DEP0001741

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval- Addendum	17/11/22

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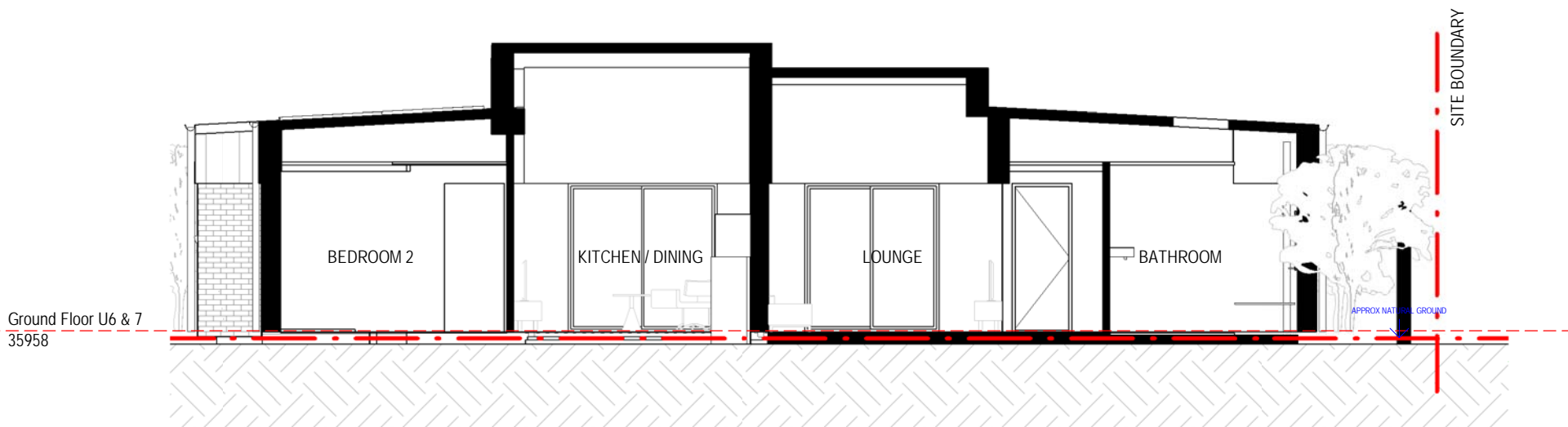
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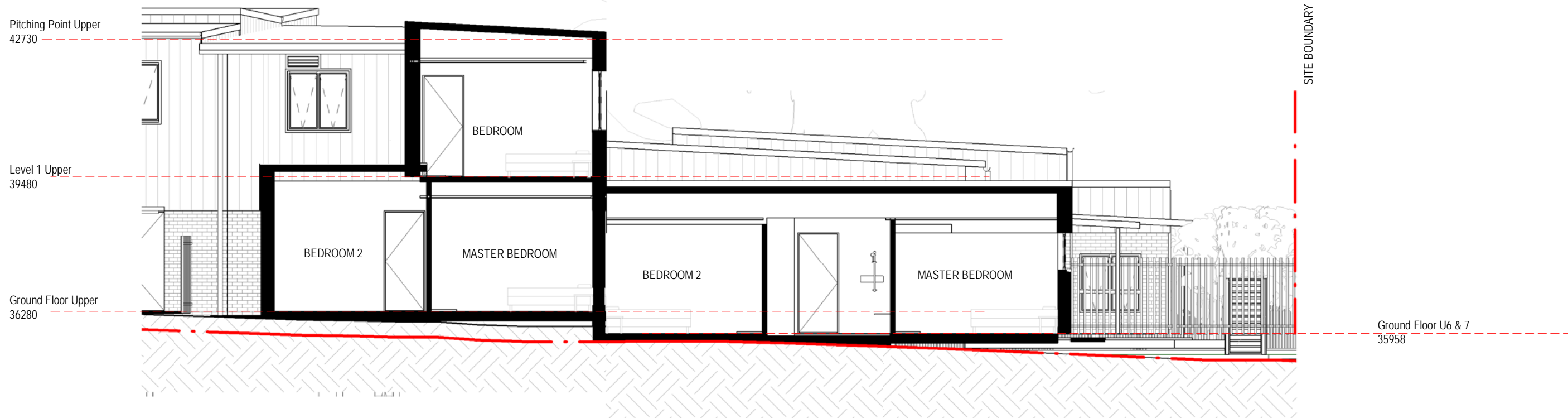
1 BUILDING SECTION 01
1 : 100



2 BUILDING SECTION 02
1 : 100



3 BUILDING SECTION 03
1 : 100



Client
LAND AND HOUSING CORPORATION

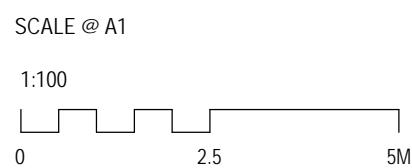


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Sheet Title

BUILDING SECTIONS



Drawn SC	Checked CS	Scale As indicated @ A1
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Project No. 3406	Sheet No. DA-4.00	Revision 7
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Shelsh

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: 3D IMAGES		Drawing No: DA-6.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelshe	DEP0001741

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval Addendum	17/11/22

NOTES : PART 5 APPLICATION

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GOVERNMENT

CUSTANCE

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SENIORS HOUSING DEVELOPMENT

Sheet Title

3D IMAGES & STREETSCAPE
ELEVATION

Drawn
SC

Checked
CS

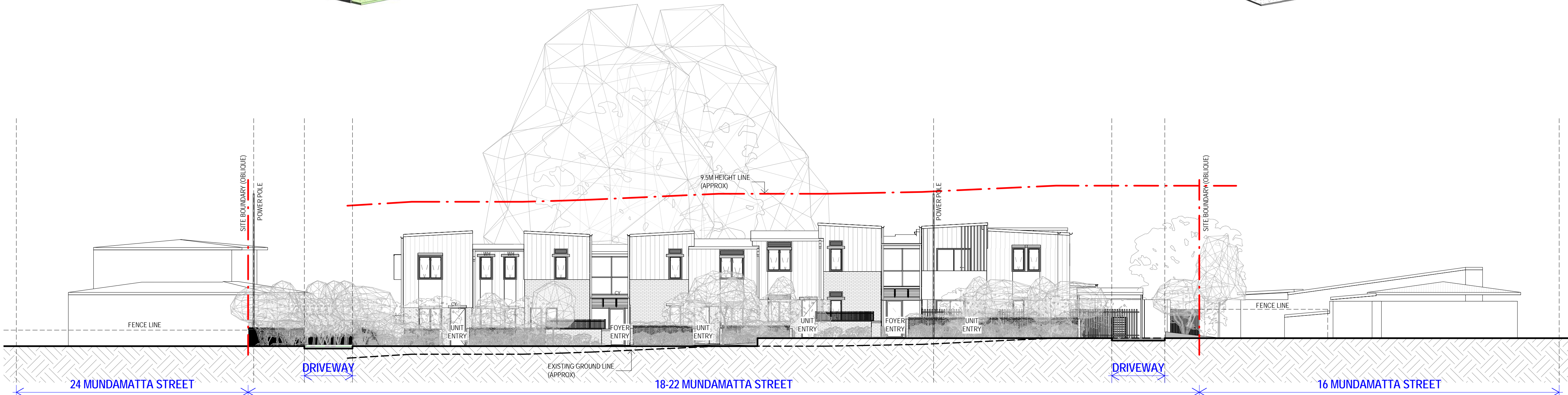
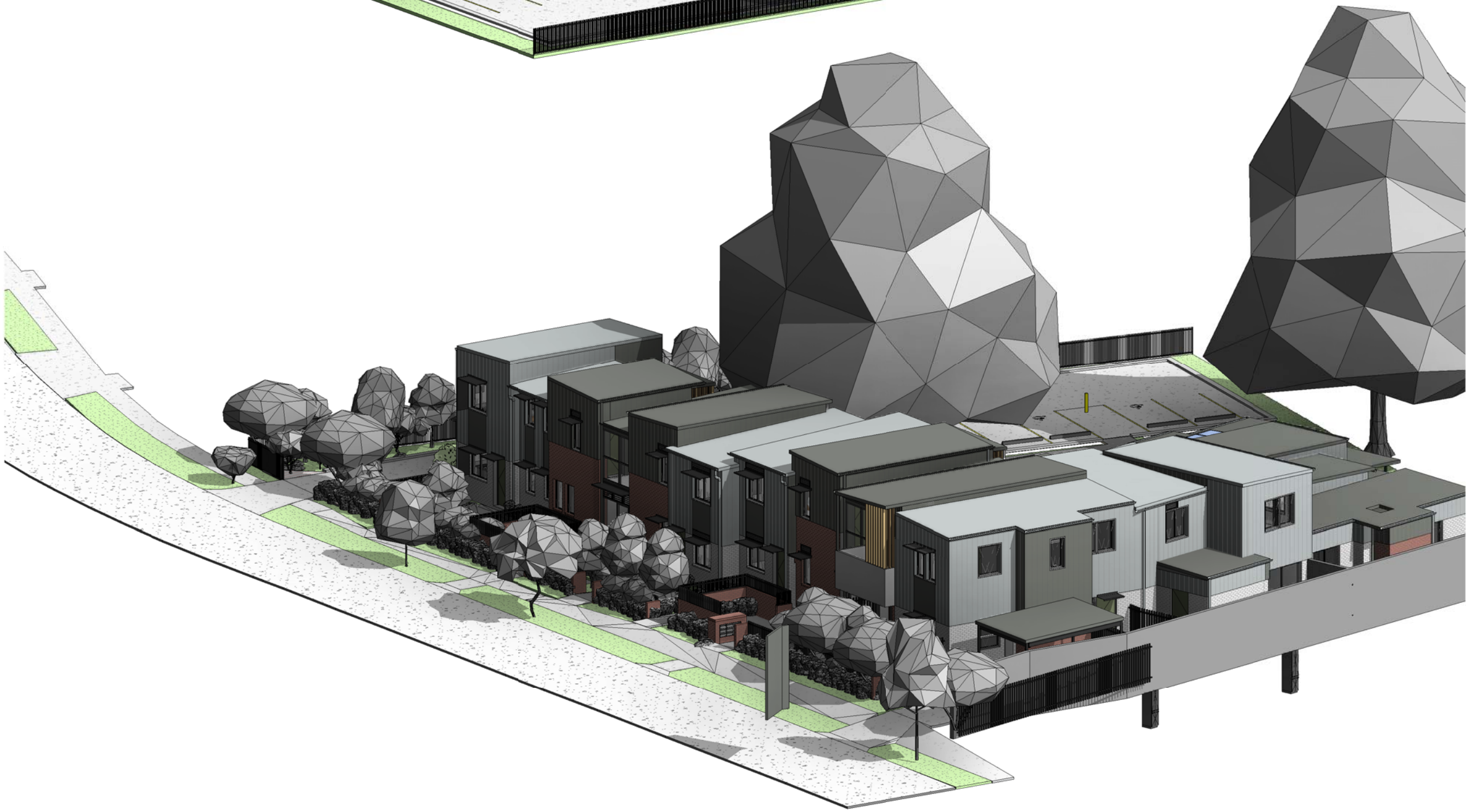
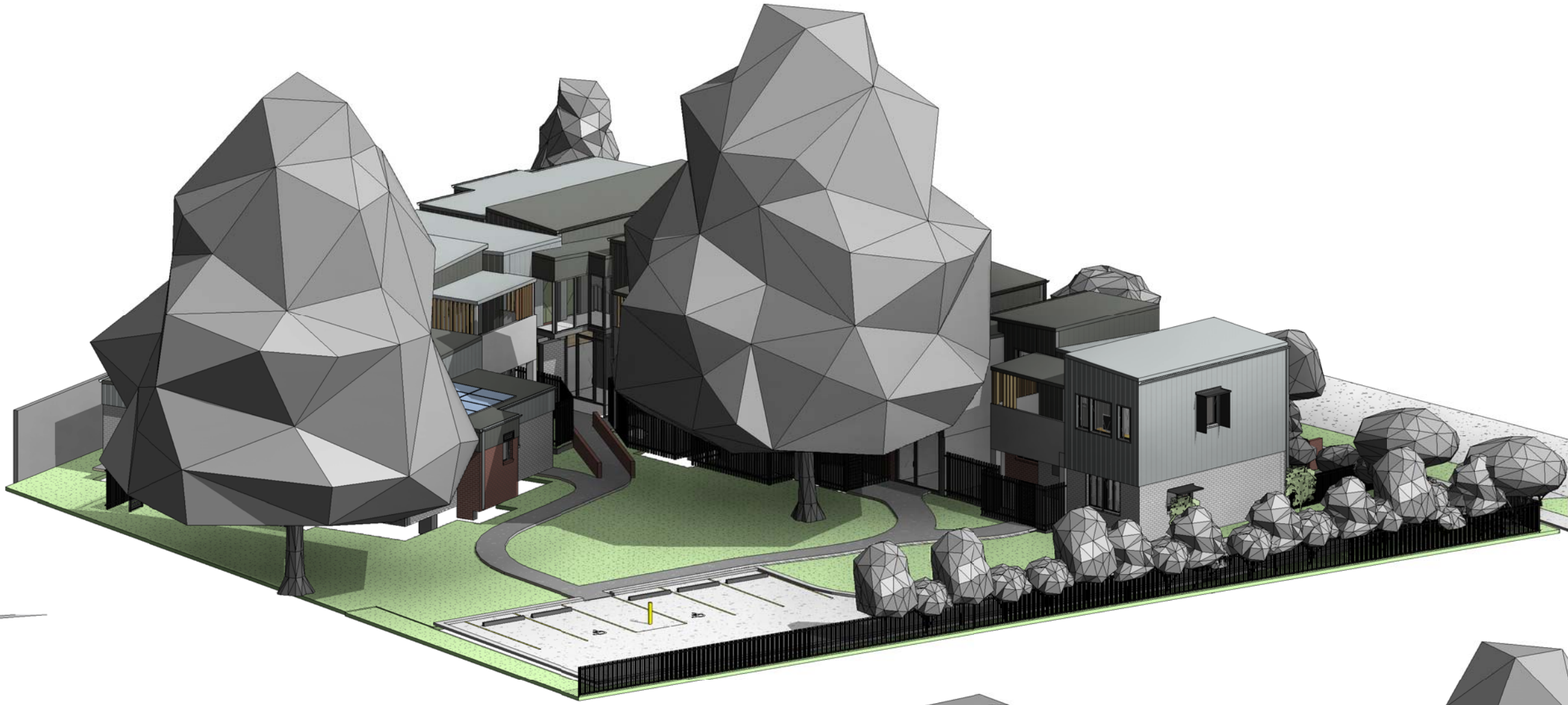
Scale
As indicated @ A1

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Project No.
3406

Sheet No.
DA-6.00

Revision
7



STREETSCAPE ELEVATION - MUNDAMUTTA STREET

Chish

Regulated Design Record				
Project Address: 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163				
Project Title: SENIORS HOUSING DEVELOPMENT, LAND AND HOUSING CORPORATION				
Consent No:		Body Corporate Reg No:		
Drawing Title: AREA CALCULATIONS		Drawing No: DA-11.00		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg. No.
6	16.11.22	For Approval	Craig Shelsheer	DEP0001741

UNIT AREA SCHEDULE			P.O.S AREA		AREA TOTAL
NO.	TYPE	AREA	TYPE	AREA	
UNIT 1	1BED	60.50 m ²	P.O.S	24.99 m ²	85.49 m ²
UNIT 2	1BED	59.52 m ²	P.O.S	24.57 m ²	84.08 m ²
UNIT 3	1BED	59.94 m ²	P.O.S	20.04 m ²	79.98 m ²
UNIT 4	2BED	70.59 m ²	P.O.S	43.08 m ²	113.67 m ²
UNIT 5	2BED	70.84 m ²	P.O.S	42.73 m ²	113.56 m ²
UNIT 6	2BED	71.19 m ²	P.O.S	76.18 m ²	147.36 m ²
UNIT 7	2BED	75.35 m ²	P.O.S	15.02 m ²	90.38 m ²
UNIT 8	1BED	61.12 m ²	BALCONY	11.26 m ²	72.38 m ²
UNIT 9	1BED	59.50 m ²	BALCONY	11.85 m ²	71.35 m ²
UNIT 10	1BED	59.94 m ²	BALCONY	11.14 m ²	71.07 m ²
UNIT 11	2BED	70.20 m ²	BALCONY	10.54 m ²	80.74 m ²
UNIT 12	1BED	59.18 m ²	BALCONY	11.09 m ²	70.28 m ²
Grand total		777.87 m ²		302.49 m ²	1080.36 m ²



1 FSR - GROUND FLOOR PLAN
1 : 250

SEPP GFA

SH GFA calculation (include stairs):
gross floor area means the sum of the areas of each floor of a building, where the area of each floor is taken to be the area within the inner face of the external enclosing walls, as measured at a height of 1.4m above each floor level—
(a) excluding columns, fin walls, sun control devices and elements, projections or works outside the general lines of the inner face of the external wall, and
(b) excluding cooling towers, machinery and plant rooms, ancillary storage space and vertical air conditioning ducts, and
(c) excluding—
(i) car parking needed to meet the requirements of this Part or the council of the local government area in which the development is located, and
(ii) internal access to the car parking, and
(d) excluding space for the loading and unloading of goods, including access to the space, and
(e) for in-fill self-care housing—including car parking provided at ground level, other than for visitors, in excess of 1 per dwelling, and
(f) for a residential care facility—excluding floor space used for service activities provided by the facility below ground level (existing).



4 Ground
1 : 400



5 Level 1
1 : 400

SEPP GFA AREA CALC.	
Level	Area
Ground	530.21 m ²
Level 1	370.79 m ²
Grand total	901.00 m ²

LEP GFA

LEP Std Instrument GFA definition e.g.:
gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes—
(a) the area of a mezzanine, and
(b) habitable rooms in a basement or an attic, and
(c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes—
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement—
(i) storage, and
(ii) vehicular access, loading areas, garbage and services, and
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with outer walls less than 1.4 metres high, and
(j) voids above a floor at the level of a storey or storey above.



2 Ground
1 : 400



3 Level 1
1 : 400

LEP GFA AREA CALC.	
Level	Area
Ground	478.90 m ²
Level 1	316.25 m ²
Grand total	795.16 m ²

Revision	Description	Date
1	For Coordination	12/07/22
2	Progress Issue	28/07/22
3	Stage B Submission	05/08/22
4	For Approval	16/09/22
5	DA Issue	26/10/22
6	Part 5 Application	16/11/22
7	Stage 5 Approval- Addendum	17/11/22

NOTES : PART 5 APPLICATION

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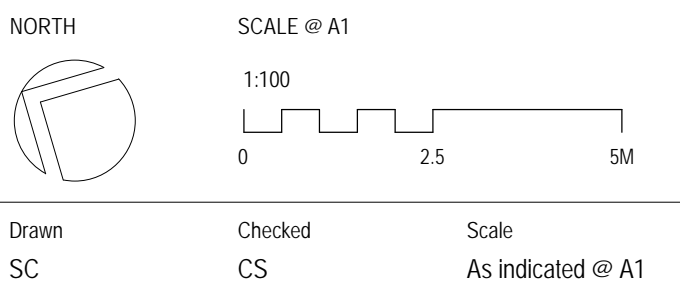
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SENIORS HOUSING DEVELOPMENT


Sheet Title

AREA CALCULATIONS



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Sheela

	Knox Advanced Engineering Pty Ltd (since 1999) W:knoxadv.com.au T: 02 8974 1433 M: 0420 465 854	
	Consulting Engineers Mechanical Electrical HVAC Refrigeration ESD Audits	
PROJECT	18-22 MUNDAMATTA ST, VILLAWOOD NSW 2163	
DRAWING	MECHANICAL CONCEPT 1	
DRAWING No.	MSK_01	DATE: 23/06/2022
REV	1	
REVISIONS		

Revision	Description	Date

PRELIMINARY
WORK-IN-PROGRESS

18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163

SENIORS LIVING DEVELOPMENT

LAND AND HOUSING CORPORATION

MECHANICAL SPATIAL ADVICE



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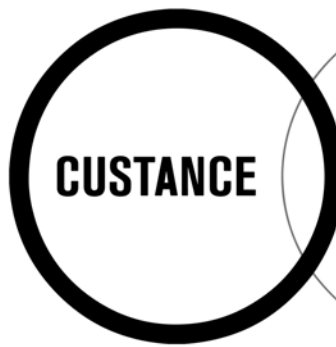


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Sheet Title

COVER PAGE

SCALE @ A1



Drawn
Author

Checked
Checker

Scale
@ A1

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STREET VIEW

Project No.
3406


Sheet No.
DA-0.00

Revision

MECHANICAL SPATIAL ADVICE

ALL AREAS TILE FINISH.
BEDROOMS CARPET FINISH
REFER TO SITE PLAN FOR
FLOOR PLAN CONTEXT

ALL GLAZED SLIDING
DOORS HAVE FLYSCREENS

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Consulting Engineers	Architects Interior Designers Planners Surveyors ES&P Asbestos		
PROJECT	18-22 MUNDAMATTA ST, VILLAWOOD NSW 2163		
DRAWING	MECHANICAL CONCEPT 1		
DRAWING No.	MSK_01	DATE:	23/06/2022
REV	1		
REVISIONS			

UNIT AREA SCHEDULE				
NO.	TYPE	AREA	TYPE	AREA
UNIT 1	1BED	66.84 m ²	P.O.S	13.61 m ²
UNIT 2	1BED	53.33 m ²	P.O.S	13.71 m ²
UNIT 3	1BED	53.33 m ²	P.O.S	13.10 m ²
UNIT 4	2BED	71.09 m ²	P.O.S	12.36 m ²
UNIT 5	2BED	73.42 m ²	P.O.S	11.04 m ²
UNIT 6	2BED	68.49 m ²	P.O.S	9.23 m ²
UNIT 7	2BED	69.47 m ²	P.O.S	9.55 m ²
UNIT 8	1BED	66.84 m ²	BALCONY	10.90 m ²
UNIT 9	1BED	53.33 m ²	BALCONY	8.95 m ²
UNIT 10	1BED	53.33 m ²	BALCONY	8.94 m ²
UNIT 11	2BED	71.09 m ²	BALCONY	6.68 m ²
UNIT 12	1BED	60.01 m ²	BALCONY	0.00 m ²
Grand total		760.59 m ²		118.08 m ²

UNIT TYPE - 1 BED
UNIT TYPE - 2 BED
PRIVATE OPEN SPACE / BALCONY

PRELIMINARY WORK-IN-PROGRESS

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VILLAWOOD NSW 2163
SENIORS LIVING DEVELOPMENT

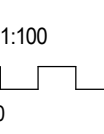
Sheet Title

GA - GROUND

NORTH



SCALE @A1



Drawn
SC

Checked
CS

Scale
1: 100 @A1

It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or Australian Standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Pty Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. ©Copyright of this drawing is vested with Custance Associates Pty Ltd
Nominated Architect: Craig Sheehy 8259 (NSW), 5612 (QLD)

Project No.

3406


Sheet No.

DA-1.20




Revision

MUNDAMATTA STREET

MECHANICAL SPATIAL ADVICE

	Knox Advanced Engineering Pty Ltd (since 1999) W: knoxadv.com.au T: 02 8974 1433 M: 0420 465 854
Consulting Engineers	Architects Interior Designers Planners Quantity Surveyors ES&P Asbestos
PROJECT	18-22 MUNDAMATTA ST, VILLAWOOD NSW 2163
DRAWING	MECHANICAL CONCEPT 1
DRAWING No.	MSK_01 DATE: 23/06/2022
REV	1
REVISIONS	

UNIT AREA SCHEDULE				
NO.	TYPE	AREA	TYPE	AREA
UNIT 1	1BED	66.84 m ²	P.O.S	13.61 m ²
UNIT 2	1BED	53.33 m ²	P.O.S	13.71 m ²
UNIT 3	1BED	53.33 m ²	P.O.S	13.10 m ²
UNIT 4	2BED	71.09 m ²	P.O.S	12.36 m ²
UNIT 5	2BED	73.42 m ²	P.O.S	11.04 m ²
UNIT 6	2BED	68.49 m ²	P.O.S	9.23 m ²
UNIT 7	2BED	69.47 m ²	P.O.S	9.55 m ²
UNIT 8	1BED	66.84 m ²	BALCONY	10.90 m ²
UNIT 9	1BED	53.33 m ²	BALCONY	8.95 m ²
UNIT 10	1BED	53.33 m ²	BALCONY	8.94 m ²
UNIT 11	2BED	71.09 m ²	BALCONY	6.68 m ²
UNIT 12	1BED	60.01 m ²	BALCONY	0.00 m ²
Grand total		760.59 m ²		118.08 m ²

	UNIT TYPE - 1 BED
	UNIT TYPE - 2 BED
	PRIVATE OPEN SPACE / BALCONY

Revision	Description	Date

PRELIMINARY
WORK-IN-PROGRESS

NOTES : DEVELOPMENT APPLICATION

- DESIGN RESOLUTION
 - The drawings represent general architectural intent for the purpose of this development application only.
 - The internal layout is shown indicatively and is subject to further design development.
 - The dimensions shown are general only and are subject to further design resolution.
 - Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
 - The size and position of privacy screens, louvers is indicative and shown in open and closed positions.
 - Please refer to Landscape drawings for Landscape component (shown indicatively only in this set)
 - Location & sizes of plant, equipment, service areas and service risers on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

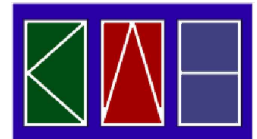
2. GRAPHIC PRESENTATION
Colours presented on drawings are generic only and indicative of the architectural design intent.

3. EXISTING STRUCTURES AND SERVICES
Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

THIS DRAWING IS TO BE
PRINTED IN COLOUR

Consultants

KNOX ADVANCED ENGINEERING

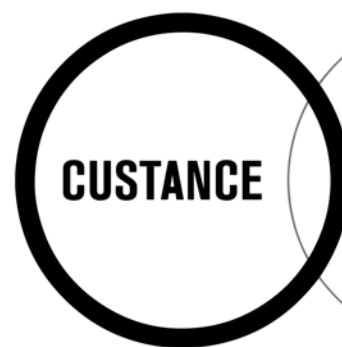


MECHANICAL
ELECTRICAL
HYDRAULICS
ESD
WATER
AQUATIC
STRUCTURAL
CIVIL

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Client

LAND AND HOUSING CORPORATION



Strategy
Urban Design
Architecture
Interior Design

SYDNEY

L3, 89 Foveaux St,
Surry Hills, NSW 2010
Australia

PH (02) 9051 0177
www.custance.com.au

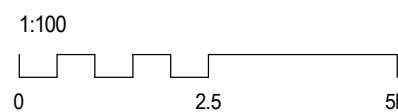
Project
18-22 MUNDAMATTA STREET,
VILLAWOOD NSW 2163
SENIORS LIVING DEVELOPMENT

Sheet Title

GA - LEVEL 1



SCALE @ A1



Drawn	Checked	Scale
SC	CS	1 : 100 @ A1

It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or Australian Standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Pty Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. ©Copyright of this drawing is vested with Custance Associates Pty Ltd
Nominated Architect: Craig Shelaher 8259 (NSW), 5612 (QLD)

Project No.
3406

Sheet No.
DA-1.21

Revision



18-22 MUNDAMATTA STREET, VILLAWOOD

Development Application Landscape Package

Date: 26th August, 2022

TaylorBrammer

LA00



KEY PLAN

DESIGN NOTES:

- 01 EXISTING TREES TO BE RETAINED
- 02 FEATURE TREE TO FRONT COURTYARD
- 03 GRAVEL TRIM TO BUILDING
- 04 SCREEN PLANTING TO BOUNDARY
- 05 VEGETABLE GARDEN
- 06 SEATING WITH PERGOLAR
- 07 OPEN TURF FOR MULTIPLE ACTIVITY
- 08 ROOF STRUCTURE OVER CARPARK

GROUND FLOOR LANDSCAPE PLAN

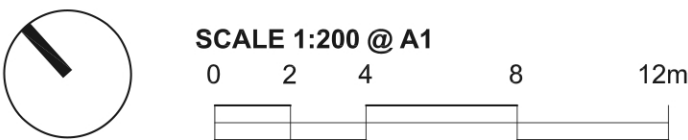


PLANT SCHEDULE					
ID	BOTANICAL NAME	COMMON NAME	GHT (MATURE)	SIZE	QTY
TREES					
Ac-an	Acacia aneura	Mulga	6m	45LT	1
Br-ac	Brachychiton acerifolius	Illawarra Flame Tree	10m	75LT	7
Co-pl	Corymbia ptychocarpa	Swamp Bloodwood	10m	75LT	1
Eu-cr	Eucalyptus crenulata	Silver Gum	15m	75LT	2
Fi-co	Ficus coronata	Sandpaper Fig	6m	75LT	2
Gr-ba	Grevillea baeleyana	White Oak	8m	75LT	2
Me-li	Melaleuca linifolia	Snow in Summer	8m	100L	10
Wa-fl	Waterhousea floribunda	Weeping Lily Pilly	10m	75LT	8
SHRUBS					
An-sp	Anigozanthos sp	Kangaroo Paw	1.8m	300mm	30
Ca-li	Callistemon linearis	Narrow-leaved Bottlebrush	2m	300mm	55
Di-lo	Dianella longifolia 'Forte'	Flax Lily	1m	300mm	62
Do-pa	Doryanthes palmeri	Spear Lily	2m	300mm	28
Er-bo	Eremophila boumanii	Silver Turkeybush	2m	300mm	15
Hi-in	Hibiscus insularis	Philip Island Hibiscus	3m	300mm	65
Rh-sp	Rhagodia spinescens	Salt Bush	1m	300mm	55
St-pa	Streitizia parvifolia	Spoon Leaved Streitizia	1.5m	300mm	5
Sy-au	Syzygium australe	Scrub Cherry	3m	300mm	305
We-fr	Westringia fruticosa	coastal rosemary	2m	300mm	168
GROUNDCOVERS & CLIMBERS					
Ba-in	Banksia integrifolia prostrate	Coastal Banksia	0.5m	140mm	120
Br-mu	Brachyscome multifida	Native Daisy	0.3m	140mm	10
Hi-sc	Hibbertia scandens	Guinea Flower	0.5m	140mm	50
La-de	Lawsonia dendrata	French Lavender	1m	200mm	50
Li-mu	Liriodendron 'Evergreen giant'	Giant Liriodendron	0.5m	200mm	25
Lo-ta	Lomandra tanka	Tanka	0.4m	140mm	75
My-pa	Myoporum parviflorum	Creeping Boobialla	0.2m	140mm	200
Tr-ja	Trachelospermum jasminoides	Star Jasmine	1.5m	140mm	72
Vi-he	Viola hederacea	Native Violet	0.2m	140mm	20
We-mu	Westringia 'Mundi'	-	0.5m	140mm	110
NOTE:					
* Plant quantities on planting plan take precedence over quantities identified in this schedule.					

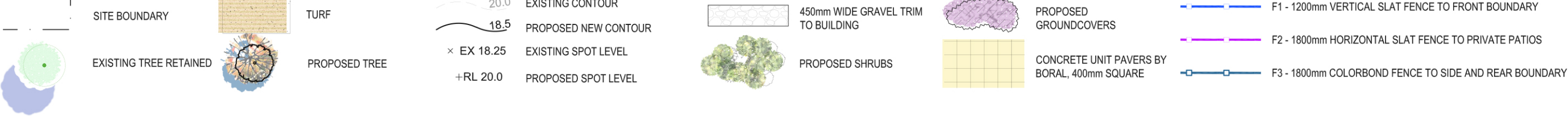
DEEP SOIL CALCULATIONS	
SITE AREA:	2210.36m2 (100%)
MINIMUM DEEP SOIL AREA REQUIREMENT	331.5m2 (15%)
PROPOSED DEEP SOIL AREA	583m2 (26.37%)
MINIMUM LANDSCAPE AREA REQUIREMENT (Minimum 35 m2 per dwelling for 12 dwelling)	420 m2
PROPOSED LANDSCAPE AREA	950 m2
LEGEND:	
	DEEP SOIL AREA (MINIMUM DIMENSION OF 3m)



FENCE TO FRONTAGE



LEGEND



project: 18-22 MUNDAMATTA STREET, VILLAWOOD
client: LAND AND HOUSING CORPORATION
date: 25.11.2022
revision: F
drawn: DA
checked: AL

EXISTING VEGETATION SCHEDULE

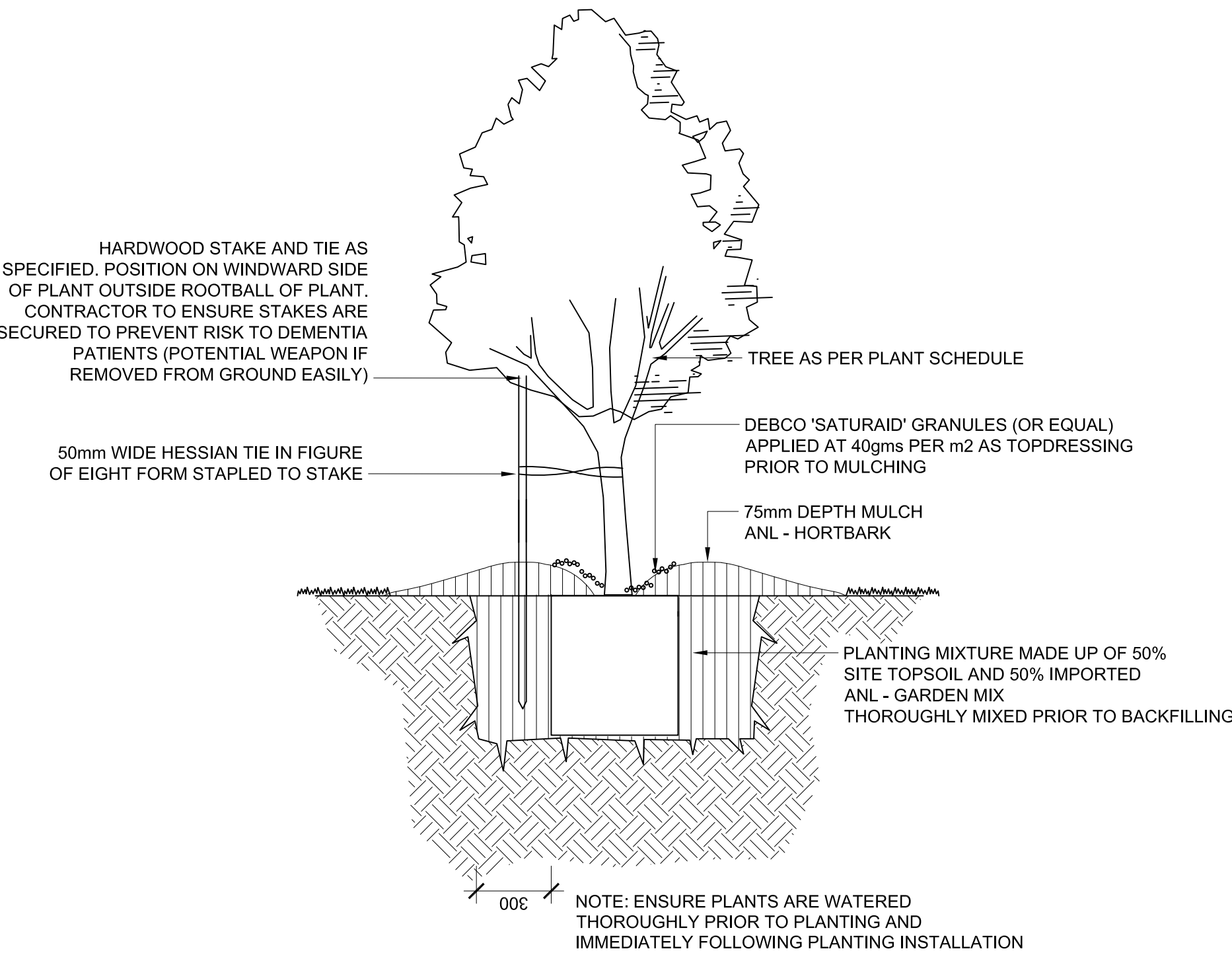
ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD
Tree retained				
T8	<i>Corymbia maculata</i>	Spotted Gum	24m	18m
T11	<i>Corymbia citriodora</i>	Lemon Scented Gum	21m	20m
T13	<i>Callistemon viminalis</i>	Weeping Bottlebrush	6m	5m
T15	<i>Tristaniopsis laurina</i>	Water Gum	5m	4m
T16	<i>Prunus sp.</i>	Ornamental Cherry	4m	3m
T17	<i>Prunus sp.</i>	Ornamental Cherry	3m	2m
T18	<i>Prunus sp.</i>	Ornamental Cherry	3m	2m
T19	<i>Prunus sp.</i>	Ornamental Cherry	4m	3m
T20	<i>Jacaranda mimosifolia</i>	Jacaranda	8m	6m

Tree removed				
T1	<i>Ligustrum lucidum</i>	<i>Ligustrum lucidum</i>	4m	3m
T2	<i>Morus sp.</i>	Mulberry	5m	4m
T3	<i>Callistemon sp.</i>	Bottlebrush	6m	6m
T4	<i>Ligustrum lucidum</i>	Large Leaf Privet	7m	6m
T5	Group of weeds <i>Passionfruit, Cestrum, Bouganvillea</i>		3m	10m
T6	<i>Ligustrum lucidum</i>	<i>Ligustrum lucidum</i>	5m	5m
T7	<i>Acacia sp.</i>	Wattle	5m	4m
T9	<i>Cinnamomum camphora</i>	Camphor Laurel	7m	7m
T10	<i>Jacaranda mimosifolia</i>	Jacaranda	9m	7m
T12	<i>Callistemon viminalis</i>	Weeping Bottlebrush	7m	6m
T14	<i>Callistemon viminalis</i>	Weeping Bottlebrush	6m	7m

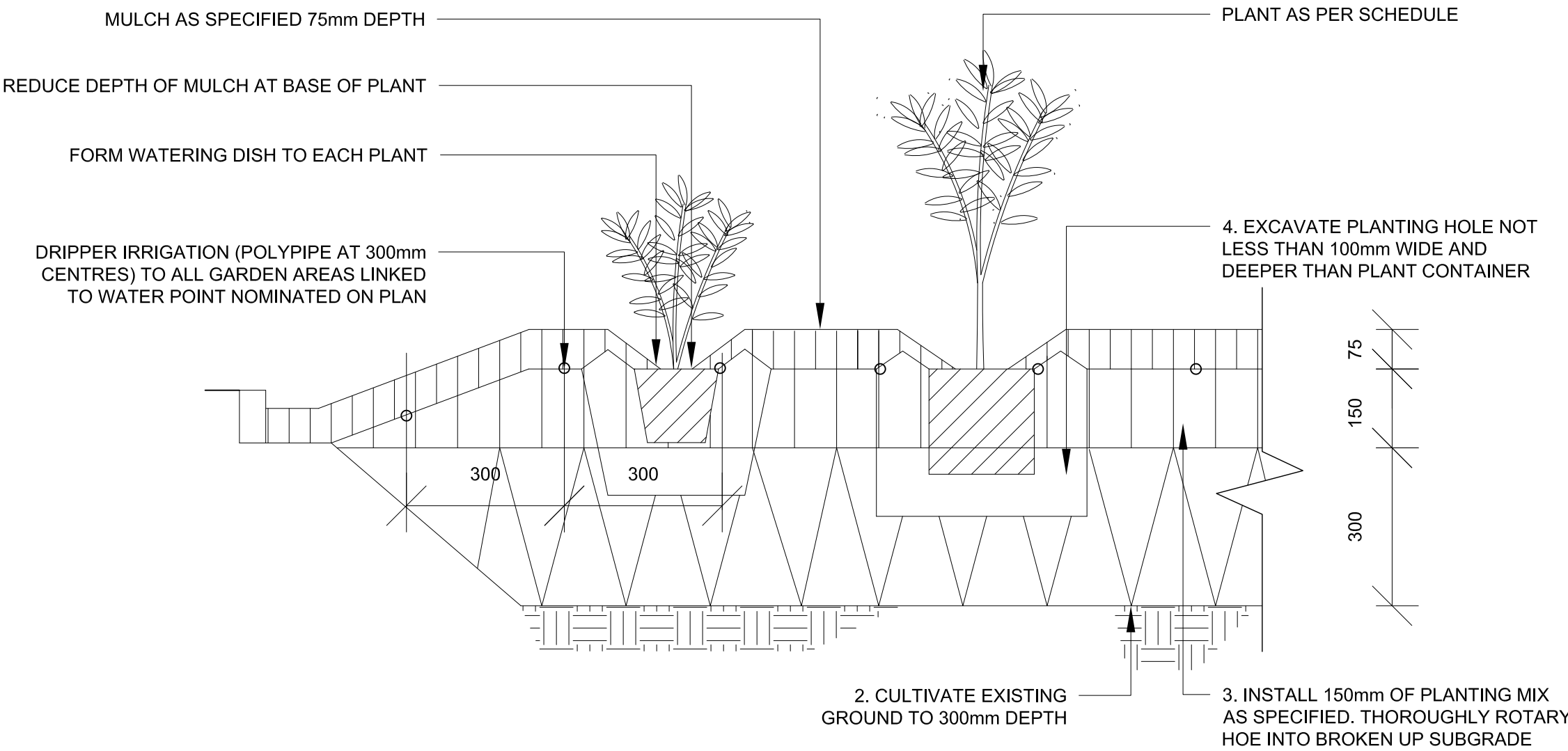
NOTE:
1 Tree heights as per Arborist report prepared by Arterra



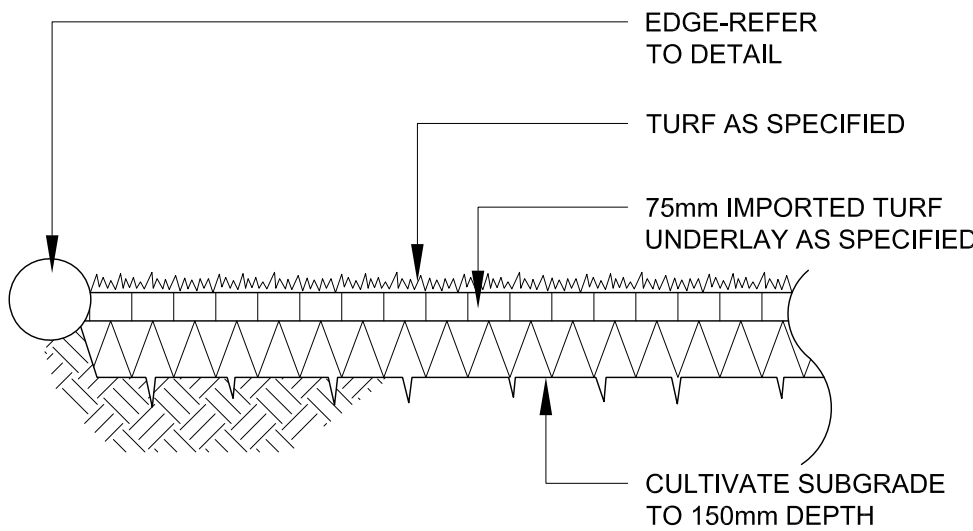
EXISTING TREE RETAINED
AND REMOVED



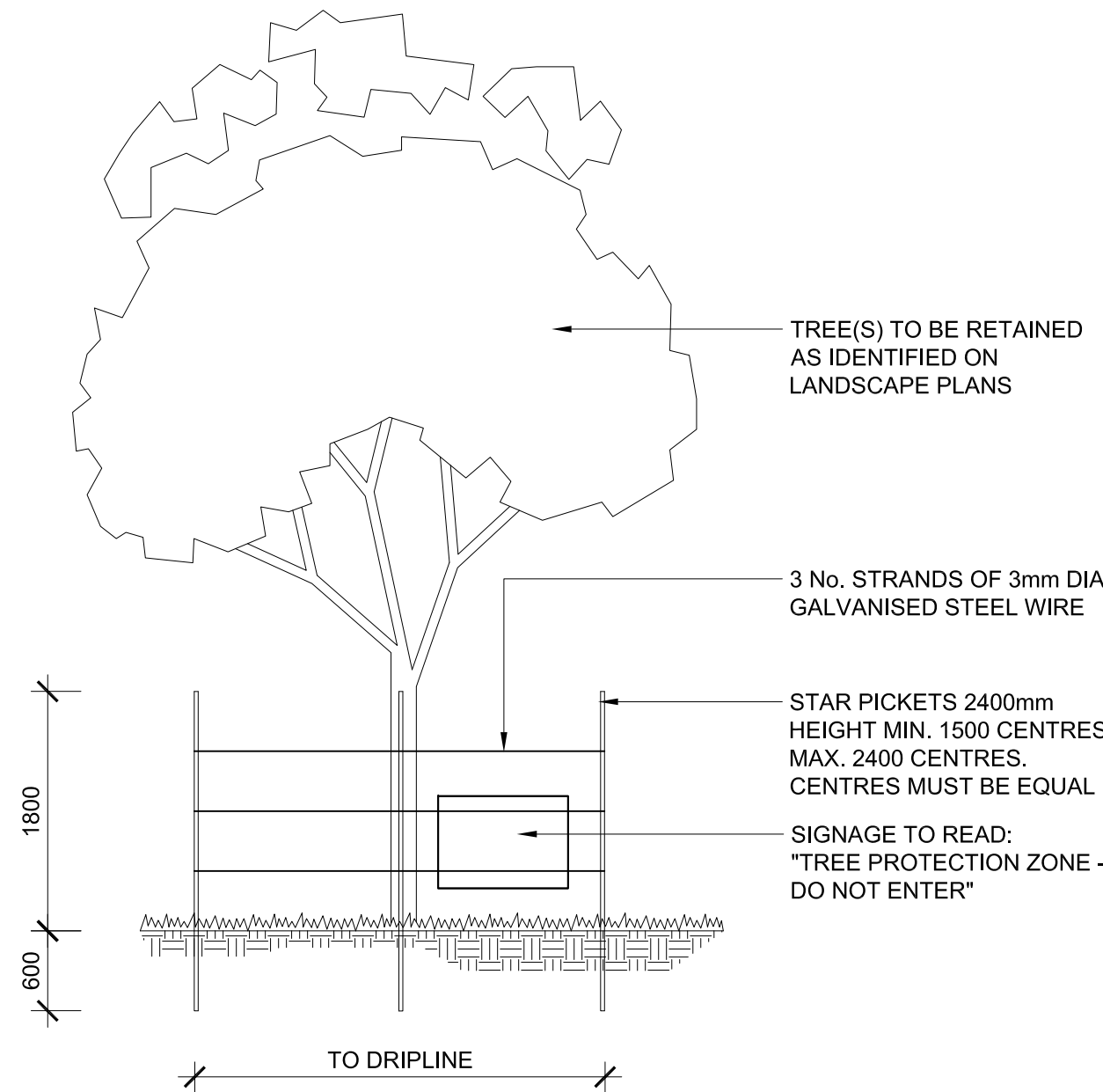
1 TREE PLANTING
TYPICAL SECTION 1:20



2 MASS PLANTING BED (DRIPPER IRRIGATION DETAIL)
TYPICAL SECTION 1:10

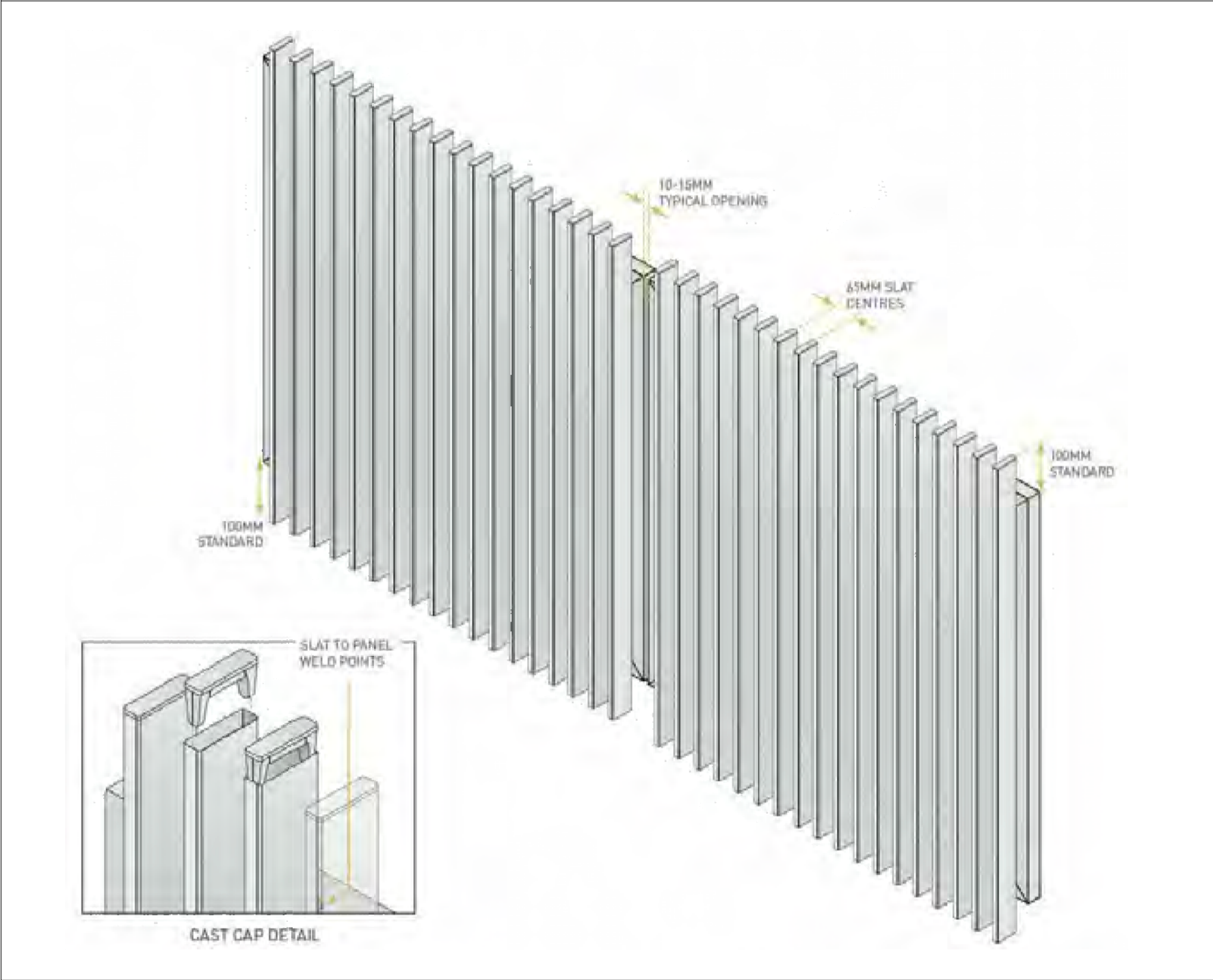


3 TURF
TYPICAL SECTION 1:20

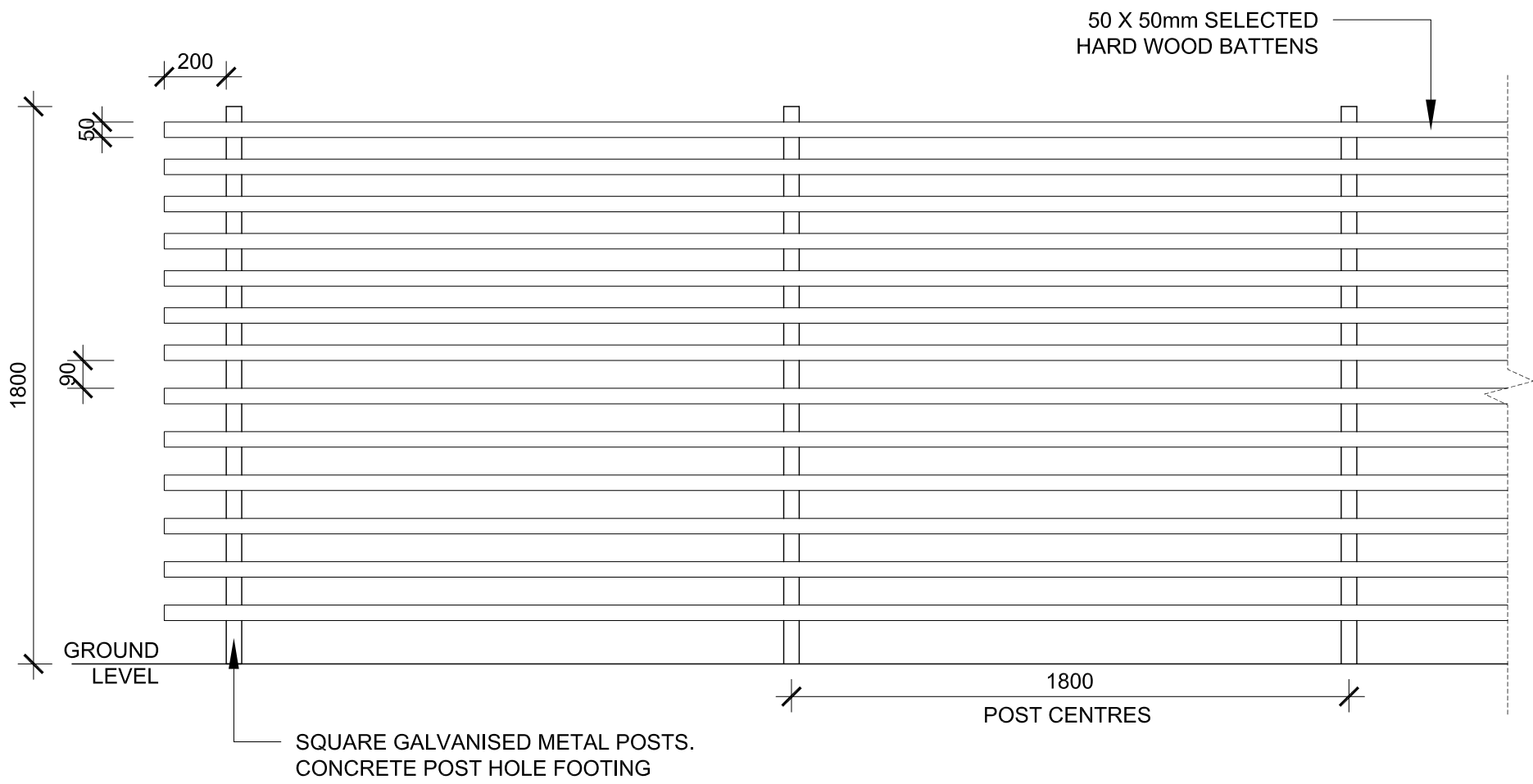


4 TREE PROTECTION
SCALE 1:50

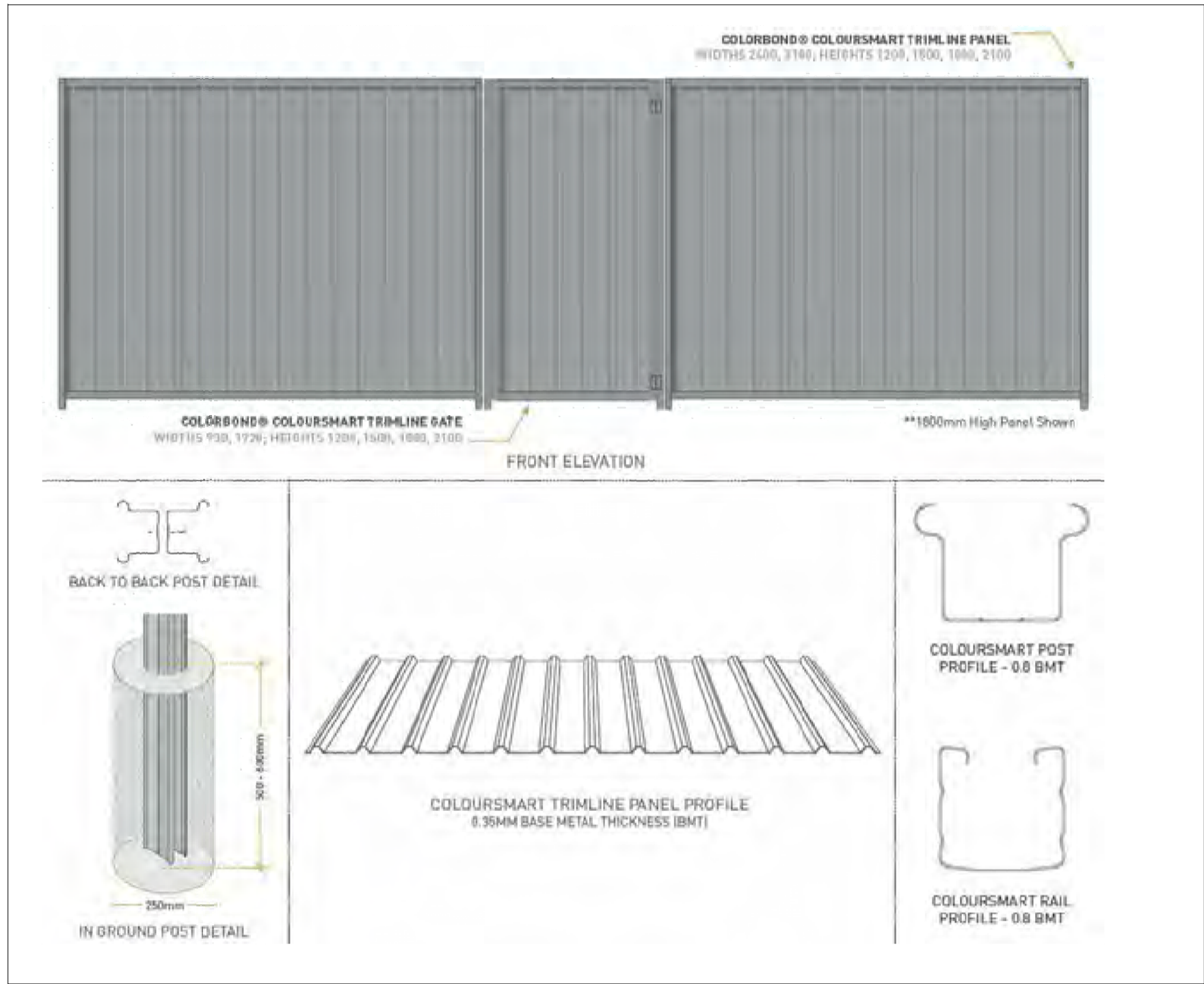
LANDSCAPE DETAILS



1 F1 - FENCING TO FRONT BOUNDARY
DETAILS NTS



2 F2 - FENCING TO PRIVATE PATIOS
ELEVATION 1:20



3 F3 - FENCING TO SIDE AND REAR BOUNDARY
DETAILS NTS

LANDSCAPE DETAILS

PROPOSED SENIORS LIVING DEVELOPMENT

18-22 Mundamatta Street, VILLAWOOD NSW 2163

Job No. N0211373

DETERMINED by the NSW Land and Housing Corporation on:

Sheld

24 August 2023

No	DATE	DESCRIPTION	BY
1	18.08.22	ISSUED FOR DA	LTR
2	29.08.22	ISSUED FOR DA	LTR
3	15.09.22	ISSUED FOR DA	LTR
4	14.11.22	ISSUED FOR DA	LTR

STORMWATER SERVICES

	STORMWATER PIPE
	STORMWATER RISING MAIN PIPE
	EXISTING STORMWATER PIPE
	RAINWATER PIPE
	SUB-SOIL DRAINAGE LINE
	CAST IN SLAB PIPE

STORMWATER LEGEND

	PROPOSED SEALED JUNCTION PIT
	PROPOSED GRATED SURFACE INLET PIT. PIT DIMENSIONS ARE GOVERNED BY DEPTH REFER TO DETAIL.
	EXISTING PIT
	PIT TO BE REMOVED
	PROPOSED KERB INLET PIT
	PROPOSED GRATED DRAIN
	PROPOSED RAINWATER TANK
	DOWNPIPE, RISER OR VERTICAL DROP
	RWO - RAINWATER OUTLET FOR BALCONIES, ROOF, CARPARK ETC
	GS1 - DOWNPIPE WITH RAIN HEAD OVERFLOW
	GS2 - DOWNPIPE WITH SUMP SIDE OVERFLOW
	GS3 - DOWNPIPE WITH SUMP HIGH CAPACITY OVERFLOW
	SWALE DRAIN
	OVERLAND FLOW PATH
	ROOF FALL DIRECTION
	PROPOSED PAVEMENT SURFACE LEVEL
	PROPOSED PIT SURFACE LEVEL
	PROPOSED PIT INVERT LEVEL
	PROPOSED FINISHED FLOOR LEVEL
	EXISTING SURFACE LEVEL
	EXISTING SURVEY CONTOUR

GENERAL PIPEWORK LEGEND

	FLOW DIRECTION
	PIPE FROM ABOVE
	PIPE TO BELOW
	FALL DIRECTION
	PIPE TYPE, SIZE AND GRADE
	CONNECTION
	CONTINUATION
	END CAP
	KEYNOTE TAG

PROJECT INFORMATION TABLE

THE TABLES BELOW ARE TO BE READ IN CONJUNCTION WITH THE ADJACENT NOTES

GEOTECHNICAL INFORMATION

COMPANY	REPORT No.	DATED
GEOTECHNICS PTY LTD	21/3539	01/12/2021

SURVEY INFORMATION

THE SURVEY INFORMATION ON THESE DRAWINGS HAS BEEN PROVIDED BY

COMPANY	DATED
NORTON SURVEY PARTNERS	04/12/2021

SAFETY IN DESIGN

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING THIS DESIGN THAT ARE TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS.

* JN DO NOT CONSIDER THAT THERE ARE ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN OF THIS PROJECT.

GENERAL

- ALL EXISTING LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS
- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION, WHERE A SPECIFICATION HAS NOT BEEN NOMINATED THEN THE CURRENT NSW DEPARTMENT OF HOUSING CONSTRUCTION SPECIFICATION IS TO BE USED. THE NOMINATED SPECIFICATION SHALL TAKE PRECEDENCE TO THESE NOTES.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW THE GENERAL ARRANGEMENT. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR ON SITE. ENGINEERS DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE RELEVANT ARCHITECTURAL DRAWINGS & DRAWINGS FROM OTHER CONSULTANTS.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- THE CONTRACTOR SHOULD LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND PROTECT AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE AND/OR ADJUST IF NECESSARY. INFORMATION GIVEN ON THE DRAWINGS IN RESPECT TO SERVICES IS FOR GUIDANCE ONLY AND IS NOT GUARANTEED COMPLETE NOR CORRECT.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- ALL DRAINAGE LINES THROUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT SPECIFIED.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS. FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS, PLAN TO BE SUBMITTED TO COUNCIL & RMS.

SURVEY

- JONES NICHOLSON IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY 3RD PARTY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS ARE TO A.H.D.
- ALL CHAINAGES AND LEVELS ARE IN METRES, AND DIMENSIONS IN MILLIMETRES.
- SET OUT COORDINATES ARE BASED ON SURVEY DRAWINGS PROVIDED FOR THE PURPOSE OF CARRYING OUT THE ENGINEERING DESIGN.
- CONTRACTOR SHALL VERIFY ALL SET OUT COORDINATES SHOWN ON THE PLANS BY A REGISTERED SURVEYOR
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- ANY DISCREPANCIES SHOULD BE CLARIFIED IN WRITING WITH THE ENGINEER PRIOR TO COMMENCEMENT OF THE WORK FOR CONFIRMATION OF THE SURVEY.

EARTHWORKS

- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS. CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL. AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE. REFER TO PROJECT INFORMATION TABLES FOR MINIMUM ROLLER WEIGHT AND THE MINIMUM NUMBER OF PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$.
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 5.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO THE DESIGN ENGINEERS APPROVAL.
- COMPACTION TESTING TO BE CARRIED OUT IN ACCORDANCE WITH THE PROJECT INFORMATION TABLE. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN. OR MAXIMUM 1 VERT : 4 HORIZ. ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

STORMWATER DRAINAGE INSTALLATION

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'HS2' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:
 - COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:

SIEVE SIZE (mm)	19	2.36	0.60	0.30	0.15	0.075
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

- AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.
 - BEDDING DEPTH UNDER THE PIPE TO BE 100mm.
 - BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE 'HAUNCH ZONE'.
 - THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.
 - COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
 - A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 400 DIA. 200mm CLEARANCE FOR PIPES 400 TO 1200 DIA AND D/6 CLEARANCE FOR PIPES > 1200 DIA.

STORMWATER DRAINAGE

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS AND COUNCIL'S SPECIFICATION.
- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC.
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O.
- PIPES 225mm DIA AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS.
- PITS SHALL BE AS DETAILED WITH METAL GRATES AT LEVELS INDICATED. ALL PITS DEEPER THAN 1200mm TO HAVE CLIMB IRONS.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL COURTYARD & LANDSCAPED PITS TO BE 450 SQUARE LOAD CLASS A UNLESS NOTED OTHERWISE.
- ALL DRIVEWAY & OSD PITS TO BE 600 SQUARE LOAD CLASS D UNLESS NOTED OTHERWISE.
- INSTALL TEMPORARY SEDIMENT BARRIERS TO INLET PITS, TO COUNCIL'S STANDARDS UNTIL SURROUNDING AREAS ARE PAVED OR GRASSED.
- PITS & DOWNPIPE LOCATIONS AND LEVELS MAY BE VARIED TO SUIT SITE CONDITIONS AFTER CONSULTING THE ENGINEER.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. ALL ROOF GUTTERING AND DOWNPIPES TO THE CURRENT AUSTRALIAN STANDARDS.
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- HAND EXCAVATE STORMWATER PIPES IN VICINITY OF TREE ROOTS.
- FOOTPATH CROSSING LEVELS SHOWN ARE TO BE ADJUSTED TO FINAL COUNCIL'S ISSUED LEVELS.
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION.
- ALL BASES OF PITS TO BE BENCH TO HALF PIPE DEPTH AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- SUBSOIL LINE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL.
- SHOULD THE CONTRACTOR ELECT TO INSTALL PRECAST STORMWATER PITS AND THEY ARE PERMITTED BY COUNCIL AND THE CLIENT, THE PRECAST PITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH RMS STANDARDS INCLUDING:
 - SEAL THE SEGMENTS TOGETHER USING A SITE-APPROVED NON-SHRINK GROUT OR MASTIC-TYPE PRODUCT. APPLY THE SEALANT IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S REQUIREMENTS.
 - ENSURE THAT NO GAPS REMAIN AND THAT A SMOOTH FACE EXISTS BETWEEN MULTIPLE UNITS.
 - LEAVE THE SEGMENTS UNDISTURBED UNTIL THE PERIOD OF CURING IS COMPLETED IN ACCORDANCE WITH THE GROUT OR SEALANT PRODUCT MANUFACTURER'S REQUIREMENTS.

PAVEMENT LEGEND

	EXTENT OF CONCRETE PAVEMENT
	DOWELLED JOINT
	KEYED JOINT
	SAW CUT JOINT
	BUTT JOINT
	2N12 TRIMMERS x 1200 LONG (TIED UNDER TOP MESH)
	150 K&G
	150 KO
	150mm HIGH KERB & GUTTER
	150mm HIGH KERB ONLY
	EXTENT OF BITUMEN PAVEMENT
	PAVEMENT TYPE 1 - CONCRETE
	PAVEMENT TYPE 2 - BITUMEN
	PAVEMENT TYPE 3 - CONCRETE FOOTPATH
	PAVEMENT TYPE 4 - GRAVEL
	PAVEMENT TYPE 5 - PAVERS
	LANDSCAPE PLANTING AREA
	LANDSCAPE TILED AREA
	LANDSCAPE WATER AREA
	FALL DIRECTION

PAVEMENT - RIGID

- THE PAVEMENT DESIGN AS DETAILED ASSUMES A PROPERLY PREPARED UNIFORM AND STABLE SUBGRADE. CONFIRMATION OF DESIGN CBR RATIO IS REQUIRED BY A GEOTECHNICAL ENGINEER PRIOR TO WORKS COMMENCING.
- PREPARATION FOR PAVEMENT: CLEAR SITE, STRIP TOPSOIL, CUT AND FILL AND PREPARATION OF SUBGRADE SHALL BE AS DESCRIBED IN 'EARTHWORKS' NOTES.
- SUBGRADE SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ IN ACCORDANCE WITH AS 1289 5.1.1.
- BASE COURSE SHALL BE CONSTRUCTED FROM FINE CRUSHED ROCK DG820 COMPACTED TO 100% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ IN ACCORDANCE WITH AS 1289 5.1.1.
- CONCRETE PAVEMENT SLABS SHALL BE AS DETAILED ON THE DRAWINGS.
- ALL WORKMANSHIP AND MATERIALS FOR CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS 3600 AND AS 3610 CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- CONCRETE QUALITY ALL CEMENT SHALL BE TYPE SL SHRINKAGE LIMITED CEMENT IN ACCORDANCE WITH AS3972

ELEMENT	STRENGTH GRADE (MPa)	SLUMP	MAXIMUM AGGREG. SIZE (mm)
PAVEMENT	32	80	20

- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3600.
- NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING.
- CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm.
- CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.
- THE FINISHED CONCRETE SHALL BE MECHANICALLY VIBRATED TO ACHIEVE A DENSE HOMOGENEOUS MASS. COMPLETELY FILLING THE FORMWORK THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. CONCRETE SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
- CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACES CONTINUOUSLY WET FOR A PERIOD OF THREE DAYS. AND THE PREVENTION OF LOSS OF MOISTURE FOR A TOTAL OF 7 DAYS FOLLOWED BY A GRADUAL DRYING OUT.
- REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT THE PERMISSION OF THE ENGINEER.

PAVEMENT - FLEXIBLE

- THE PAVEMENT DESIGN AS DETAILED ASSUMES A PROPERLY PREPARED UNIFORM AND STABLE SUBGRADE. CONFIRMATION OF DESIGN CBR RATIO IS REQUIRED BY A GEOTECHNICAL ENGINEER PRIOR TO WORKS COMMENCING.
- ASSUMED DESIGN CBR TO BE CONFIRMED ONSITE DURING CONSTRUCTION PRIOR TO PLACEMENT OF PAVEMENT MATERIALS. THE CONTRACTOR IS TO UNDERTAKE SUFFICIENT CBR TESTING TO CONFIRM THE ASSUMED VALUE. WHERE A LESSER VALUE HAS BEEN DETERMINED, THE SUPERVISING ENGINEER IS TO BE NOTIFIED TO DETERMINE A REVISED PAVEMENT DESIGN.
- PAVEMENT TO BE CONSTRUCTED AS FOLLOWS:

SURFACE COURSE	DENSE GRADED ASPHALT
PRIMERSEAL	- EMULSION BASED HOT BITUMEN
BASE COURSE	- DG8 20
SUB BASE	- DG3 40
- SUBGRADE SHALL BE COMPACTED TO 100% STANDARD MAXIMUM DRY DENSITY RATIO AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS.
- SUBBASE COURSE SHALL BE COMPACTED TO 95% MODIFIED MAXIMUM DRY DENSITY.
- BASECOURSE SHALL BE COMPACTED TO 98% MODIFIED MAXIMUM DRY DENSITY.
- PRIOR TO THE PLACEMENT OF THE PRIMERSEAL AND AFTER THE REQUIRED DENSITY IS ACHIEVED, THE PAVEMENT IS TO BE ALLOWED TO DRY BACK TO APPROXIMATELY 60% TO 70% OPTIMUM MOISTURE CONTENT.
- ALL SUBGRADES TO BE ROOF ROLLED & APPROVED BY SUPERVISING ENGINEER.
- COMPACTION TESTS ARE TO BE UNDERTAKEN FOR ALL PAVEMENT LAYERS INCLUDING SUBGRADE AT A RATE TO BE DETERMINED BY THE SUPERVISING ENGINEER & THE RESULTS TO BE SUPPLIED TO THE ENGINEER PRIOR TO PLACEMENT OF THE NEXT PAVEMENT LAYER.

PAVEMENT - SEGMENTAL

- THE PAVEMENT DESIGN AS DETAILED ASSUMES A PROPERLY PREPARED UNIFORM AND STABLE SUBGRADE. CONFIRMATION OF DESIGN CBR RATIO IS REQUIRED BY A GEOTECHNICAL ENGINEER PRIOR TO WORKS COMMENCING.
- PREPARATION FOR PAVEMENT: CLEAR SITE, STRIP TOPSOIL, CUT AND FILL AND PREPARATION OF SUBGRADE SHALL BE AS DESCRIBED IN 'EARTHWORKS'.
- SUBGRADE SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ IN ACCORDANCE WITH AS 1289 5.1.1.
- BASECOURSE SHALL BE CONSTRUCTED FROM FINE CRUSHED ROCK DG820 COMPACTED TO 100% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm 2\%$ IN ACCORDANCE WITH AS 1289 5.1.1.
- PROVIDE CONCRETE WORKING SLAB 20MPa MIN 100mm THICK AS DETAILED ON DRAWING.
- SEGMENTAL PAVING SHALL BE AS DETAILED ON THE DRAWINGS, AND ARE TO BE SUPPLIED WITH UNITS OF MAXIMUM GROSS PLAN AREA <0.1m². WHERE THIS AREA IS EXCEEDED REFER CONCRETE FLAG PAVEMENT SPECIFICATION.
- ALL WORKMANSHIP AND MATERIALS FOR PAVEMENT SHALL BE IN ACCORDANCE WITH ALL AS 4455, AS4456, AS4459, T44, T45, T46, CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENT.
- PAVER QUALITY:

APPLICATION	CHARACTERISTIC BREAKING LOAD (KN)	CHARACTERISTIC FLEXURAL STRENGTH (MPa)
RESIDENTIAL PEDESTRIAN	2	2
RESIDENTIAL DRIVEWAYS	5	3
PUBLIC FOOTPATHS	5	3
ROADS	5	3
INDUSTRIAL PAVEMENTS	10	4

- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 4456.4 AND AS 4456.5.
- PAVERS TO BE BEDDED AND SOUND EDGE RESTRAINTS ARE TO BE PROVIDED. JOINTS TO BE FULLY GROUTED.

CIVIL DRAWING LIST		
No.	SHEET NAME	
C001	NOTES & LEGEND	
C010	SITE PLAN	
C050	TYPICAL DETAILS	
C200	GROUND STORMWATER PLAN	
C210	LEVEL 1 STORMWATER PLAN	
C300	ROOF STORMWATER PLAN	



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Custance

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DISCIPLINE

CIVIL DESIGN

DRAWING TITLE

NOTES & LEGEND

PROJECT

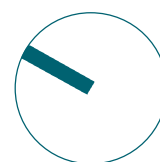
PROPOSED SENIORS LIVING DEVELOPMENT

ADDRESS

18-22 Mundamatta Street, VILLAWOOD NSW 2163

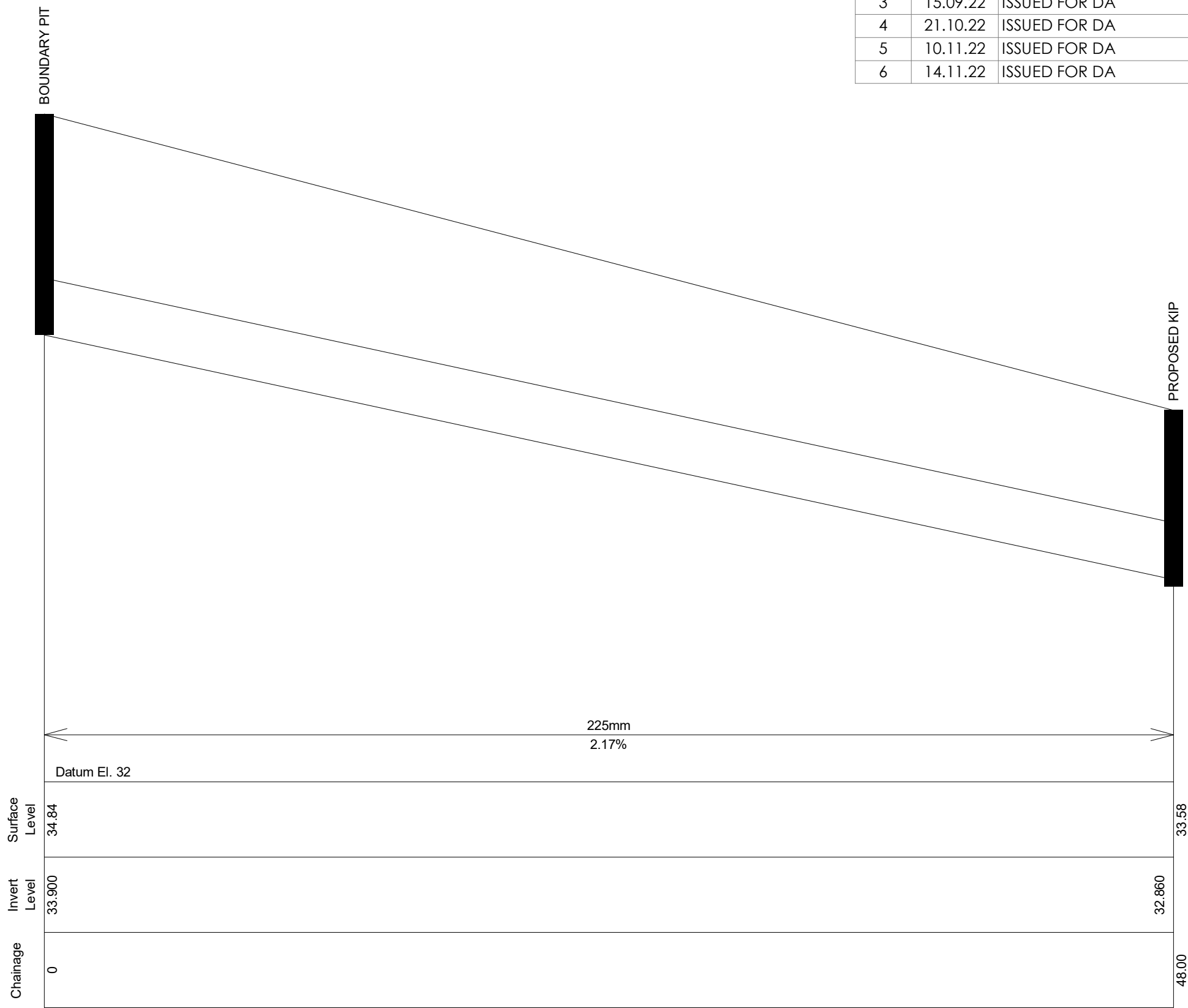
PROJECT DETAILS

DESIGN	DA	N0211373
DRAWN	LTR	
DATE		
DRG SIZE	A1	
SCALE	As indicated	
PROJECT MGR	GC	
WWW.JN.COM.AU		C001 4





No	DATE	DESCRIPTION	BY
2	29.08.22	ISSUED FOR DA	LTR
3	15.09.22	ISSUED FOR DA	LTR
4	21.10.22	ISSUED FOR DA	LTR
5	10.11.22	ISSUED FOR DA	LTR
6	14.11.22	ISSUED FOR DA	LTR



EASEMENT LONG SECTION

NOTE: SURFACE LEVELS BETWEEN THE BOUNDARY PIT AND PROPOSED KERB INLET PIT ARE NOT MODELLED IN THE LONG SECTION



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DISCIPLINE
CIVIL DESIGN

DRAWING TITLE
SITE PLAN

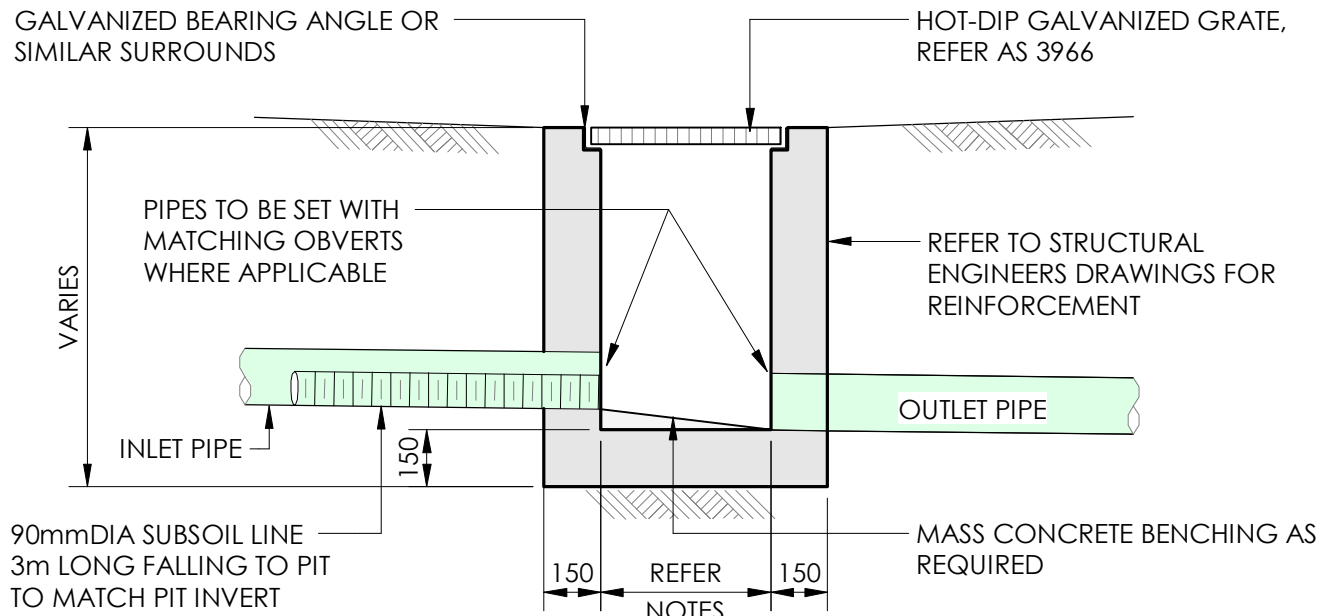
PROJECT
PROPOSED SENIORS LIVING
DEVELOPMENT

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

PROJECT DETAILS
DESIGN DA
DRAWN LTR
DATE
DRG SIZE A1
SCALE As indicated
PROJECT GC
MGR
WWW.JN.COM.AU
N0211373
C010 6

Handwritten signature

No	DATE	DESCRIPTION	BY
3	15.09.22	ISSUED FOR DA	LTR
4	21.10.22	ISSUED FOR DA	LTR
5	10.11.22	ISSUED FOR DA	LTR
6	14.11.22	ISSUED FOR DA	LTR
7	31.01.23	ISSUED FOR DA	LTR



MINIMUM INTERNAL DIMENSIONS FOR STORMWATER PITS			
DEPTH OF INVERT OF OUTLET		DEPTH OF INVERT OF OUTLET	
		WIDTH	LENGTH
	< 600	450	450
> 600		600	600
> 900		600	900
> 1200		900	900

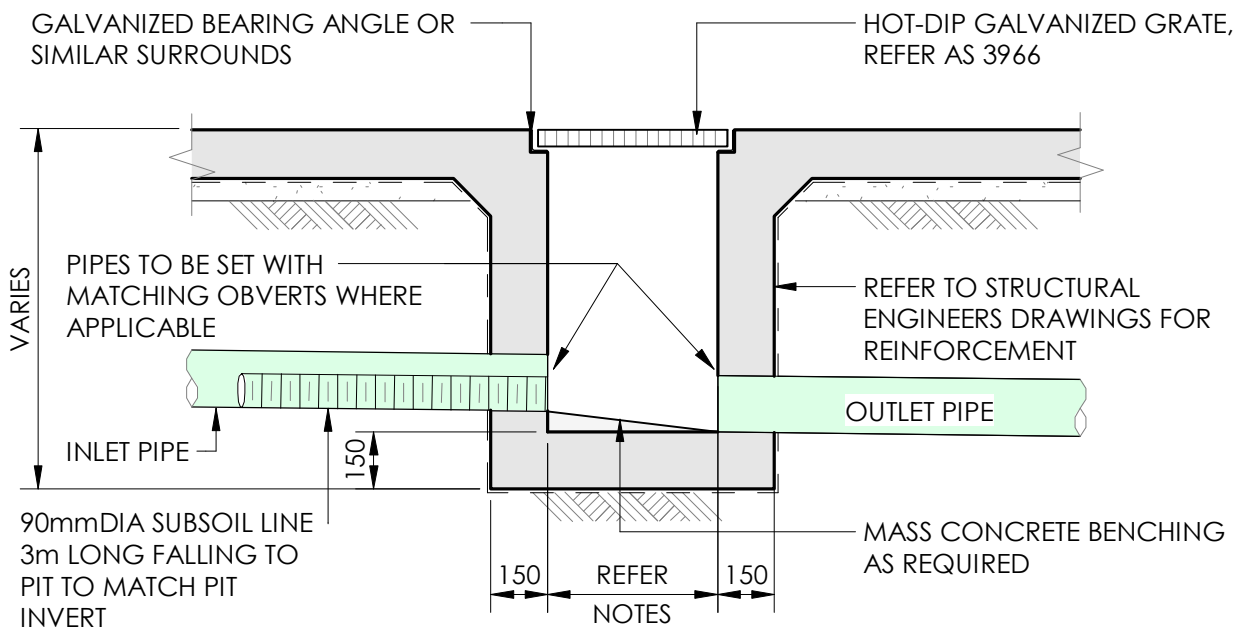
*STEP IRONS SHALL BE PROVIDED FOR PITS WITH DEPTHS EXCEEDING 1000mm

NOTE:

- CLIMB IRONS SHALL BE PROVIDED UNDER LID AT 300 CTS TO COUNCIL STANDARDS WHERE PIT DEPTH IS DEEPER THAN 1000.
- PROVIDE 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
- ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- CONCRETE STRENGTH F_c = 32 MPa

TYPICAL CONCRETE INLET PIT - NATURAL SURFACE

SCALE 1 : 20



MINIMUM INTERNAL DIMENSIONS FOR STORMWATER PITS			
DEPTH OF INVERT OF OUTLET		DEPTH OF INVERT OF OUTLET	
		WIDTH	LENGTH
	< 600	450	450
> 600		600	600
> 900		600	900
> 1200		900	900

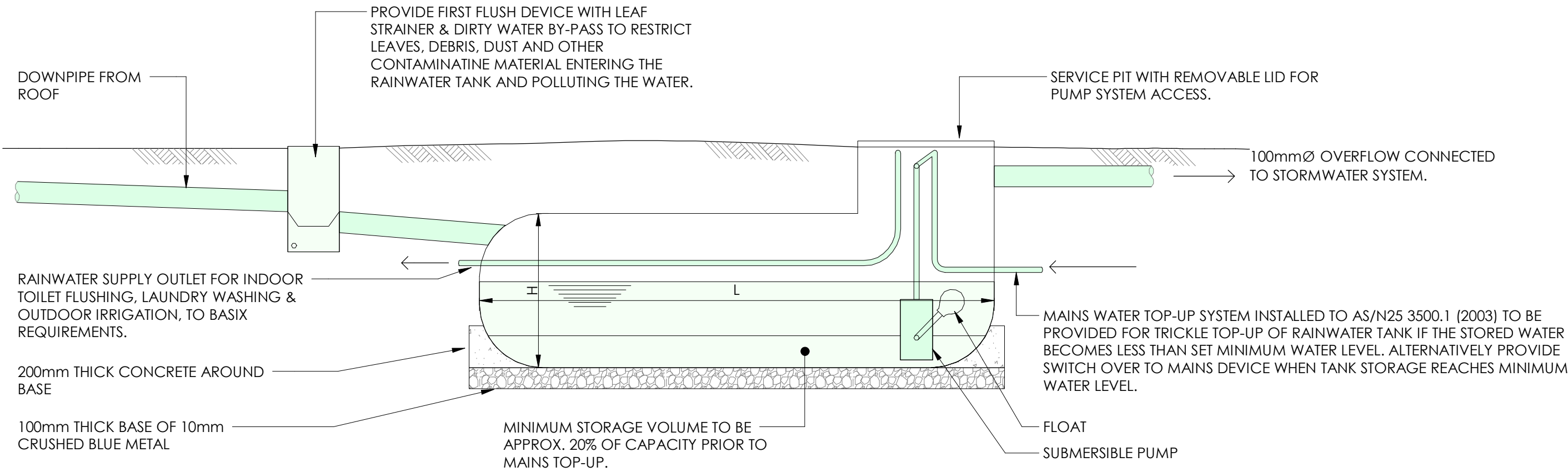
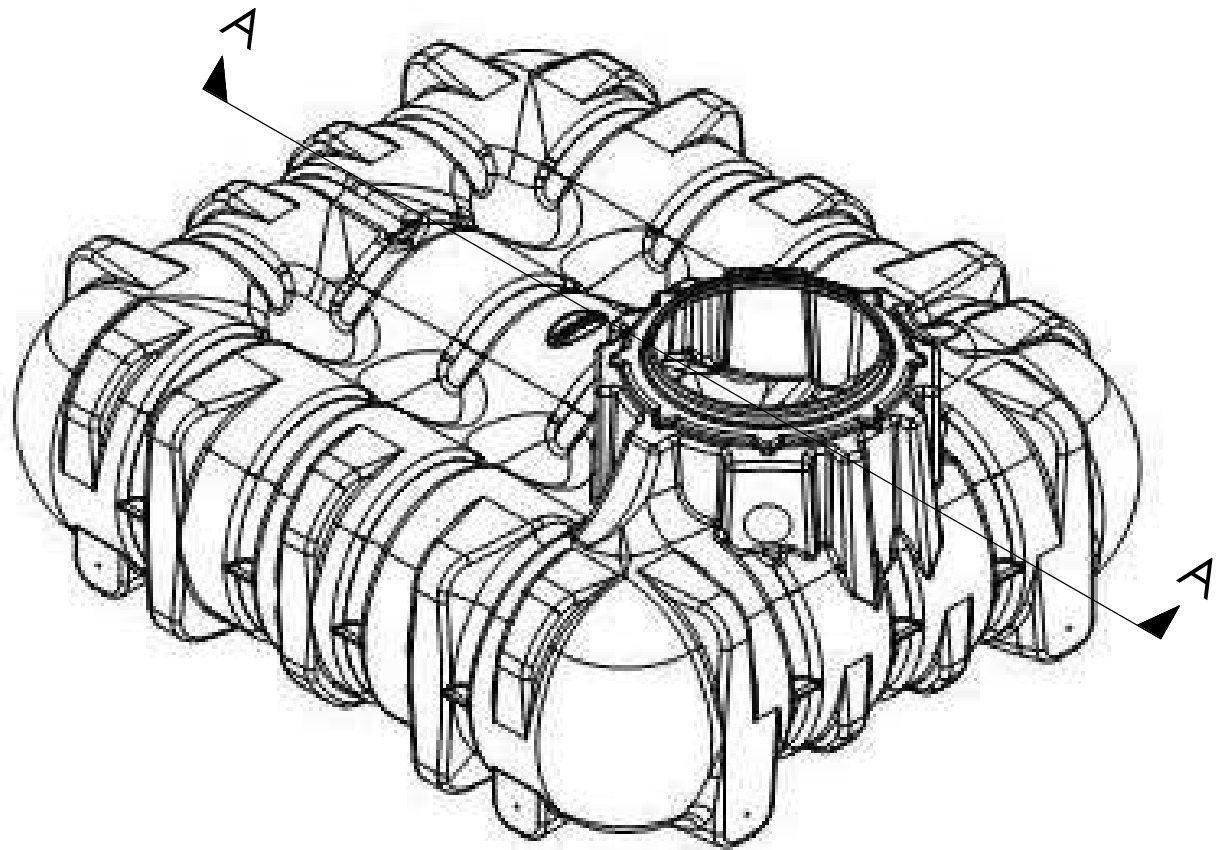
*STEP IRONS SHALL BE PROVIDED FOR PITS WITH DEPTHS EXCEEDING 1000mm

NOTE:

- CLIMB IRONS SHALL BE PROVIDED UNDER LID AT 300 CTS TO COUNCIL STANDARDS WHERE PIT DEPTH IS DEEPER THAN 1000.
- PROVIDE 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
- ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
- CONCRETE STRENGTH F_c = 32 MPa

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE

SCALE 1 : 20

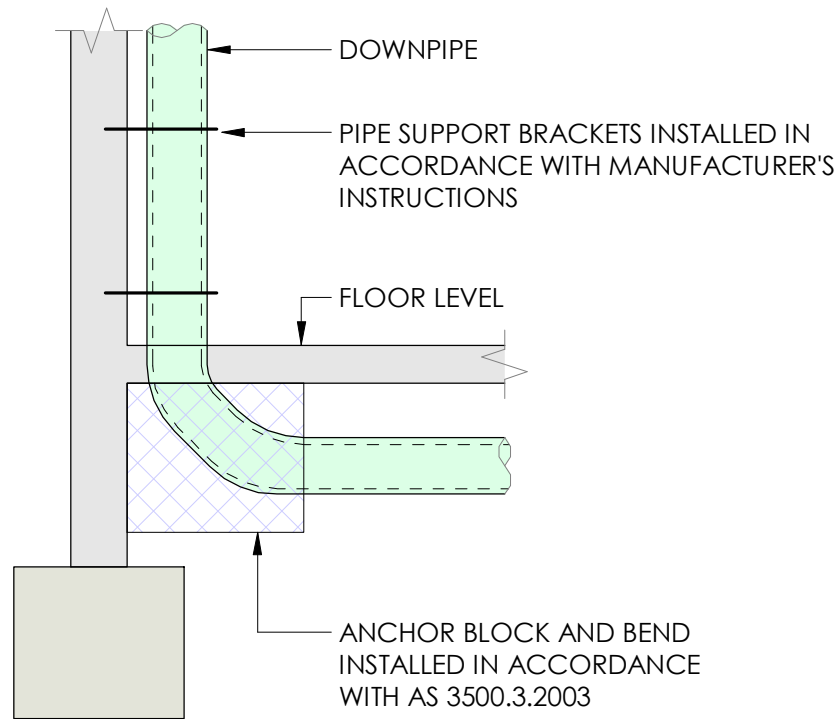


SECTION A-A
UNDERGROUND RAINWATER TANK DETAIL

UNDERGROUND RAINWATER TANK. REFER BASIX REPORT FOR SIZING.

RAINWATER TANK - GRAF UNDER GROUND

SCALE 1 : 20



TYPICAL VERTICAL DROP DETAIL

SCALE 1 : 20



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Custance

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DISCIPLINE
CIVIL DESIGN

DRAWING TITLE
TYPICAL DETAILS

PROJECT
PROPOSED SENIORS LIVING
DEVELOPMENT

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

PROJECT DETAILS
DESIGN DA
DRAWN LTR
DATE
DRG SIZE A1
SCALE 1 : 20
PROJECT GC
MGR
WWW.JN.COM.AU
N0211373
C050 7

BYPASS = 9% OF TOTAL SITE AREA



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DRAWING TITLE
GROUND STORMWATER PLAN

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

PROJECT DETAILS
DESIGN DA
DRAWN LTR
DATE
DRG SIZE A1
SCALE 1 : 100
PROJECT GC
MGR
WWW.JN.COM.AU

GROUND FLOOR STORMWATER PLAN
SCALE 1 : 100

No	DATE	DESCRIPTION	BY
1	18.08.22	ISSUED FOR DA	LTR
2	29.08.22	ISSUED FOR DA	LTR
3	15.09.22	ISSUED FOR DA	LTR
4	14.11.22	ISSUED FOR DA	LTR



LEVEL 1 STORMWATER PLAN
SCALE 1 : 100



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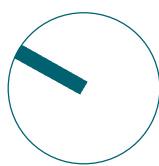
DISCIPLINE
CIVIL DESIGN

DRAWING TITLE
LEVEL 1 STORMWATER PLAN

PROJECT
PROPOSED SENIORS LIVING
DEVELOPMENT

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

PROJECT DETAILS
DESIGN
DRAWN
DATE
DRG SIZE
SCALE
PROJECT
MGR
DA
LTR
N0211373
A1
1 : 100
GC
C210 4
WWW.JN.COM.AU



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No	DATE	DESCRIPTION	BY
1	18.08.22	ISSUED FOR DA	LTR
2	14.11.22	ISSUED FOR DA	LTR



ROOF STORMWATER PLAN
SCALE 1 : 100

- NOTES:
- ALL GUTTERING TO BE EAVES GUTTERS
 - ALL DOWNPIPE & DOWNPIPE SPREADER LOCATIONS AND QUANTITIES ARE INDICATIVE AND SUBJECT TO CHANGE IN DETAILED DESIGN
 - DOWNPIPES EXPECTED TO RUN INTO RAINWATER TANK (OR MULTIPLE) FOR RE-USE VIA A CHARGED SYSTEM. PENDING JN COMPLETING BASIX REPORT REGARDING RWT REQUIREMENTS.



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DISCIPLINE
CIVIL DESIGN

DRAWING TITLE
ROOF STORMWATER PLAN

PROJECT
PROPOSED SENIORS LIVING DEVELOPMENT

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

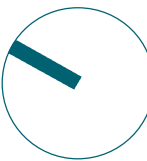
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DESIGN
DRAWN
DATE
DRG SIZE
SCALE
PROJECT
MGR

DA
LTR
A1
GC

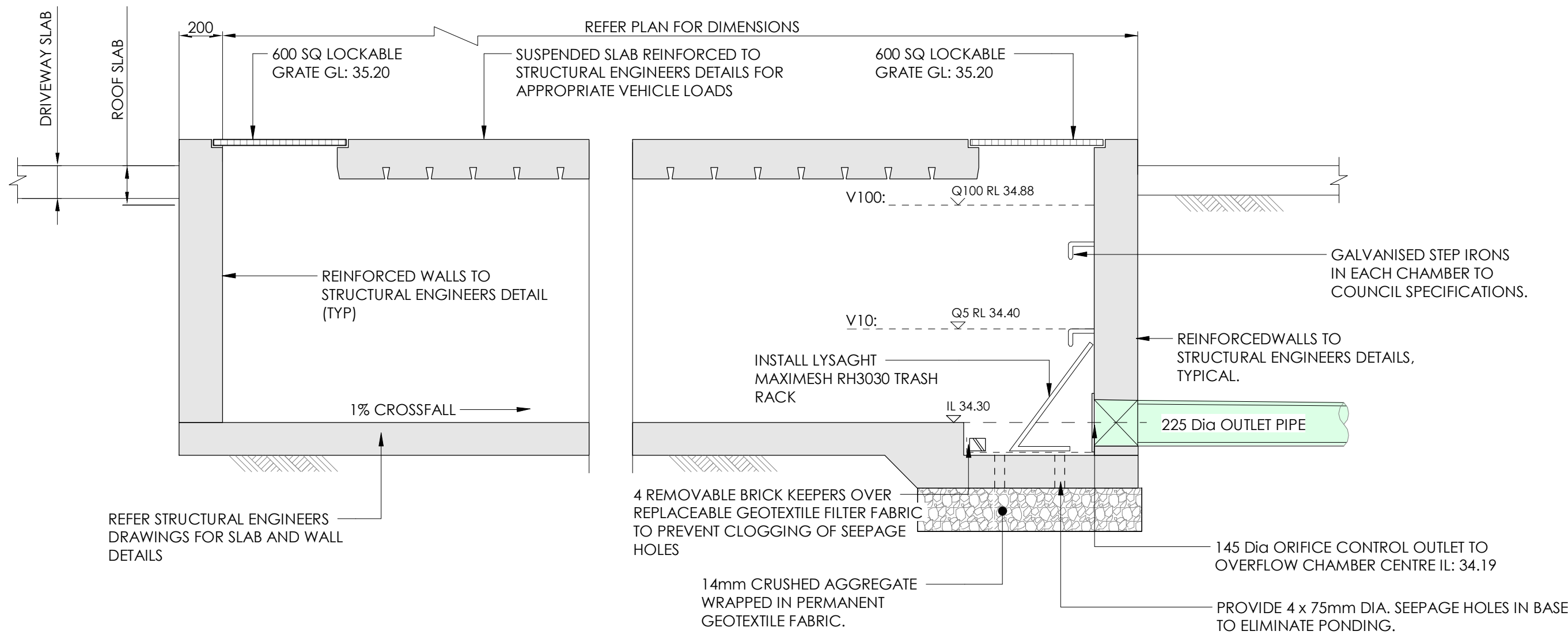
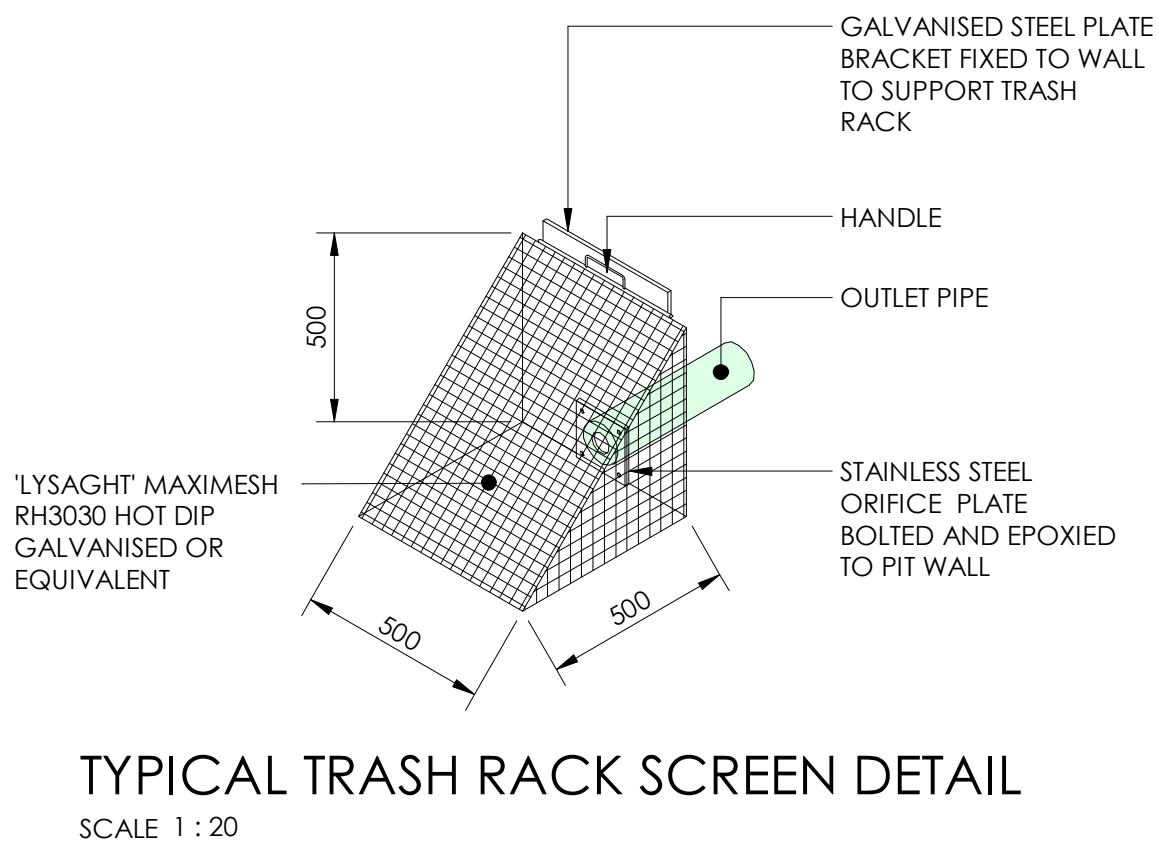
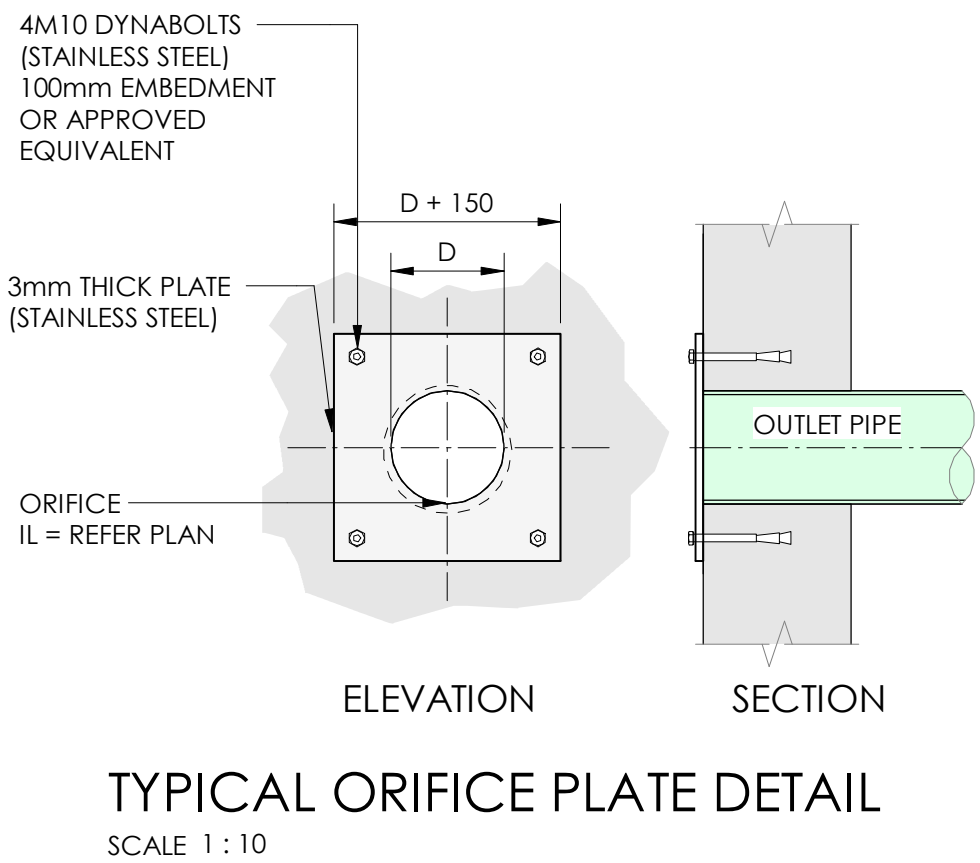
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WWW.JN.COM.AU

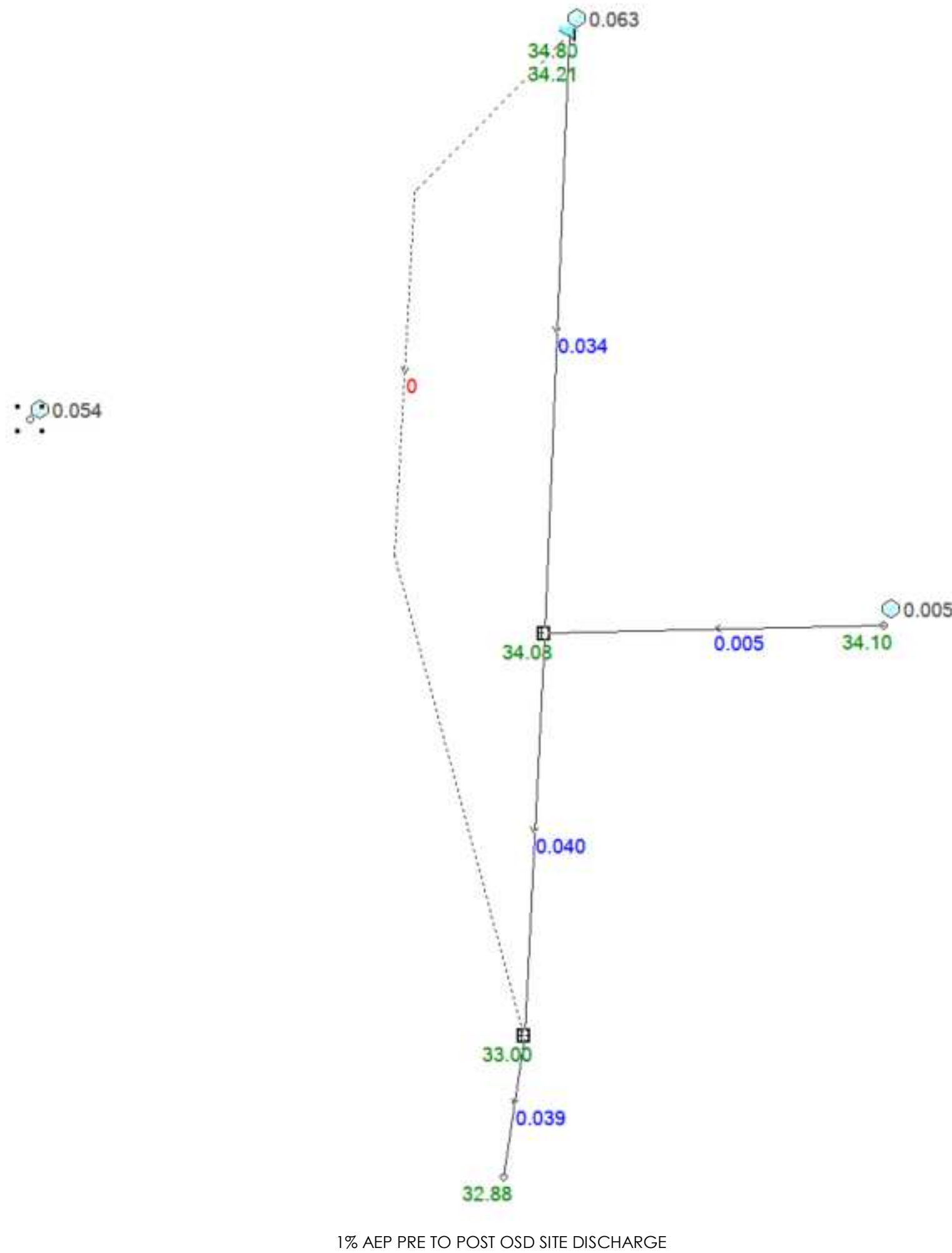


Heidi

No	DATE	DESCRIPTION	BY
1	31.01.23	ISSUED FOR DA	LTR



Results for median storm in critical 1% AEP ensembles using Full Unsteady hydraulic model.



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Custance

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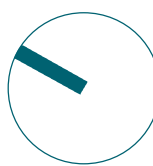
DISCIPLINE
CIVIL DESIGN

DRAWING TITLE
OSD DETAILS

PROJECT
PROPOSED SENIORS LIVING DEVELOPMENT

ADDRESS
18-22 Mundamatta Street, VILLAWOOD NSW 2163

PROJECT DETAILS
DESIGN DA N0211373
DRAWN LTR
DATE
DRG SIZE A1
SCALE As indicated
PROJECT GC C051
MGR
WWW.JN.COM.AU



17 November 2022

Craig Shelsher



Our Ref: N0211373-CRPT.02A

Dear Craig,

Re: Cut & Fill DA Statement

Project: LAHC development
Client: Custance Associates Australia Pty Ltd
Address: 18 Mundamatta Street
VILLAWOOD NSW 2163
Australia

JN has reviewed an overlay with the survey and proposed ground floor plan and the cut & fill across site can be noted as minor cut or fill, less than 500mm. As seen in Appendix A, there are areas around Unit 2 & 3 (Green Area) that have fill of about 930mm to the finished floor level due to drops in height around the existing tree and access being provided from the footpath to the units. The 930mm fill level is taken from the survey level around the tree in Unit 3 and the finished floor level of the unit (fill will be less to the bottom of the unit slab).

Yours sincerely,



Dylan Alexander
Civil Design Engineer



Appendix A – Cut & Fill Overlay

L.G.A. CANTERBURY-BANKSTOWN



BDY CNR	EASTING	NORTHING
A	314 026.895	6 247 802.412
B	314 052.697	6 247 835.353
C	314.032.562	6 247 871.936
D	313 990.851	6 247 849.505

LEGEND :

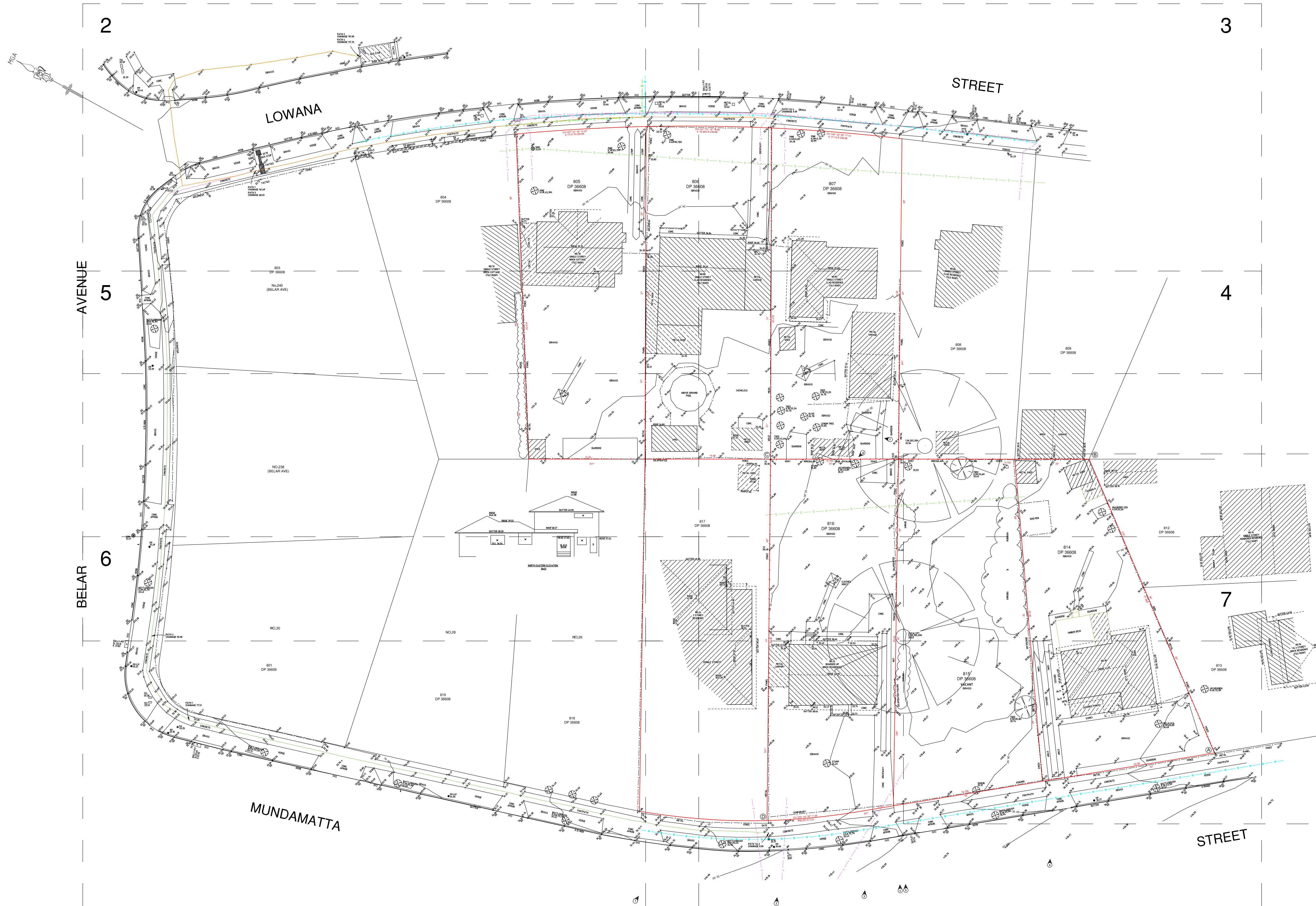
	- DENOTES PHOTO LOCATION
	- DENOTES BOUNDARY CORNER

NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARIES DETERMINED FROM PLANS AVAILABLE ON PUBLIC RECORD.
- 2) THIS SURVEY HAS BEEN MADE PURSUANT TO SECTION 9 OF THE SURVEYING & SPATIAL INFORMATION REGULATION 2017.
- 3) ORIGIN OF LEVELS: LSM 176664 RL33.72 (A.H.D.) SCIMS
- 4) SITE COMPRISES LOTS 814, 815 & 816 DP 36608
- 5) SITE AREA 2210.3m² BY TITLE DIMENSIONS.
- 6) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 7) TREE SIZES ARE INDICATIVE
0.3Ø105,8H DENOTES INDICATIVE TREE SIZE
0.3 TRUNK DIAMETER 10 SPREAD, 8 HIGH.
(G) - DENOTES TOP OF GUTTER.
T/F - DENOTES TOP OF FENCE.
- 8) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY IF TREE SPECIES IDENTIFICATION IS IMPORTANT THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.
- 9) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM A DIA. BEFORE YOU DIG SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.


[illegible]

L.G.A. CANTERBURY-BANKSTOWN




BDY CNR	EASTING	NORTHING
A	314 026.895	6 247 802.412
B	314 052.697	6 247 835.353
C	314.032.562	6 247 871.936
D	313 990.851	6 247 849.505

LEGEND :

-  - DENOTES PHOTO LOCATION
 - DENOTES BOUNDARY CORNER

NOTES:

- 1) TITLE BEARINGS AND DIMENSIONS ARE SHOWN. BOUNDARIES DETERMINED FROM PLANS AVAILABLE ON PUBLIC RECORD.
- 2) THIS SURVEY HAS BEEN MADE PURSUANT TO SECTION 19 OF THE SURVEYING & SPATIAL INFORMATION REGULATION 2017.
- 3) ORIGIN OF LEVELS: SSM 176664 RL33.72 (A.H.D.) SCIMS
- 4) SITE COMPRISES LOTS 814, 815 & 816 DP 36608
- 4) SITE AREA 2210.3m² BY TITLE DIMENSIONS.
LOT 814 670.4m²
LOT 815 763.9m²
LOT 816 776.0m²
- 5) UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
- 6) TREE SIZES ARE INDICATIVE
0.3Ø10S.8H DENOTES INDICATIVE TREE SIZE
0.3 TRUNK DIAMETER 10 SPREAD, 8 HIGH.
(G) - DENOTES TOP OF GUTTER.
T/F - DENOTES TOP OF FENCE.
- 7) TREE NAMES SHOWN CONSTITUTE OUR OPINION ONLY IF TREE SPECIES IDENTIFICATION IS IMPORTANT THEY SHOULD BE DETERMINED BY A QUALIFIED ARBORIST.
- 8) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.


No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT	CONTOUR INTERVAL: DATUM: A.H.D. ORIGIN OF DATUM: SSM 176664 RL 33.72 100 YEAR FLOOD RL: N/A RECOMMENDED MINIMUM FLOOR RL: N/A SOURCE OF FLOOD INFO: N/A	LEGEND OF COMMONLY USED SYMBOLS WATER SEWER ELECTRICITY OH ELECTRICITY UG TELECOM PIPE NETWORKS STORMWATER BENCH MARK SURVEY CONTROL MARK PM SSM	REDUCTION RATIO 1 : 250 (A1) LAND TITLE INFORMATION LOTS: 814, 815, 816 PART OF 805, 806 & 807 PLAN NOS : D.P 36608 OTHER: AREA:	DATE OF SURVEY: 04.12.21 SURVEY CONSULTANT: AW Norton Survey Partners SURVEYORS & LAND TITLE CONSULTANTS PH +61 2 9555 2744 office@nspartners.com.au SUITE 1 / 505 BALMAIN ROAD LILYFIELD N.S.W. 2040 REGISTERED SURVEYOR ANDREW WATFIELD REF: 52052.DWG	 Family & Community Services Land & Housing Corporation	LOCATION VILLAWOOD STREET ADDRESS 18-22 MUNDAMATTA STREET & PART OF 78-82 LOWANA STREET JOB NUMBER 52052	TYPE S SHT. 1 OF 11
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NOTIFICATION PLANS
SENIORS HOUSING
18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163



MUNDAMATTA STREET PERSPECTIVE

NOTIFICATION PLANS SHEET LIST				
SHEET NO	SHEET NAME	Current Revision	Current Revision Description	Current Revision Date
N-01	NOTIFICATION - COVER PAGE	3	For Stage 5 Approval	25/11/22
N-02	SITE / LANDSCAPE PLAN	3	For Stage 5 Approval	25/11/22
N-03	ELEVATIONS	3	For Stage 5 Approval	25/11/22
N-04	SHADOWS DIAGRAMS	3	For Stage 5 Approval	25/11/22



Planning & Environment

LOCKED BAG 5022
PARAMATTA NSW 2124
Phone No: 1300 305 695

ARCHITECT:



Strategy
Urban Design
Architecture
Interior Design

NOTIFICATION - COVER PAGE

18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163 LOTS 814-816 DP 36608

REV:

3

DATE:

25/11/22

PROJECT NO:

BGYHY

SHEET:

N-01

Shelsh



PLANT SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	GHT (MATURE)	SIZE	QT
TREES					
Ac-an	Acacia aneura	Mulga	6m	45LT	1
Br-ac	Brachychiton acerifolius	Illawarra Flame Tree	10m	75LT	7
Co-pt	Corymbia ptychocarpa	Swamp Bloodwood	10m	75LT	1
Eu-cr	Eucalyptus crenulata	Silver Gum	15m	75LT	2
Fi-co	Ficus coronata	Sandpaper Fig	6m	75LT	2
Gr-ba	Grevillea baileyana	White Oak	8m	75LT	2
Me-li	Melaleuca linanifolia	Snow in Summer	8m	100L	10
Wa-fl	Waterhousea floribunda	Weeping Lily Pilly	10m	75LT	8
SHRUBS					
An-sp	Anigozanthos sp	Kangaroo Paw	1.8m	300mm	30
Ca-li	Callistemon linearis	Narrow-leaved Bottlebrush	2m	300mm	55
Di-lo	Dianella longifolia 'Forte'	Flax Lily	1m	300mm	62
Do-pa	Doryanthes palmeri	Spear Lily	2m	300mm	26
Er-bo	Eremophila bowmanii	Silver Turkeybush	2m	300mm	15
Hi-in	Hibiscus insularis	Philip Island Hibiscus	3m	300mm	65
Rh-sp	Rhagodia spinescens	Salt Bush	1m	300mm	55
St-pa	Strelitzia parvifolia	Spoon Leaved Strelitzia	1.5m	300mm	5
Sy-au	Syzygium australe	Scrub Cherry	3m	300mm	30
We-fr	Westringia fruticosa	coastal rosemary	2m	300mm	16
GROUNDCOVERS & CLIMBERS					
Ba-in	Banksia integrifolia prostrata	Coastal Banksia	0.5m	140mm	12
Br-mu	Brachyscome multifida	Native Daisy	0.3m	140mm	10
Hi-sc	Hibbertia scandens	Guinea Flower	0.5m	140mm	50
La-de	Lavandula dentata	French Lavender	1m	200mm	50
Li-mu	Liriope muscari 'Evergreen giant'	Giant Liriope	0.5m	200mm	25
Lo-ta	Lomandra tanika	Tanika	0.4m	140mm	75
My-pa	Myoporum parvifolium	Creeping Boobialla	0.2m	140mm	20
Tr-ja	Trachelospermum jasminoides	Star Jasmine	—	140mm	72
Vi-he	Viola hederacea	Native Violet	0.2m	140mm	20
We-mu	Westringia 'Mundi'	—	0.5m	140mm	11

NOTE:
* Plant quantities on planting plan take precedence over quantities identified in this schedule.



KEY PLAN

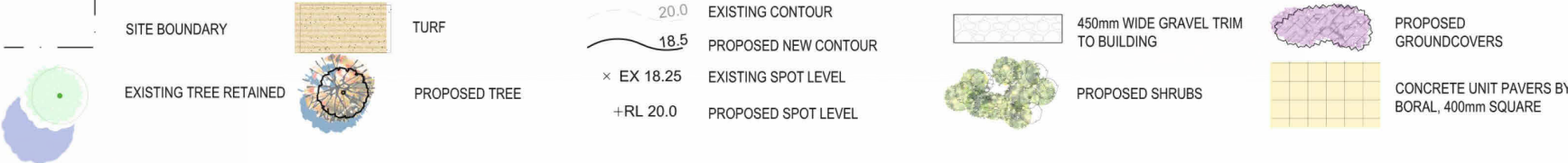
DESIGN NOTES:

- 01 EXISTING TREES TO BE RETAINED
- 02 FEATURE TREE TO FRONT COURTYARD
- 03 GRAVEL TRIM TO BUILDING
- 04 SCREEN PLANTING TO BOUNDARY
- 05 VEGETABLE GARDEN
- 06 SEATING WITH PERGOLAR
- 07 OPEN TURF FOR MULTIPLE ACTIVITY
- 08 ROOF STRUCTURE OVER CARPARK



FENCE TO FRONTAGE

LEGEND

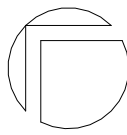


ARCHITECT:



SITE / LANDSCAPE PLAN

18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163 LOTS 814-816 DP 36608



REV:

3

DATE:

25/11/22

PROJECT NO:

BGYHY

SHEET:

N-02

Chubb

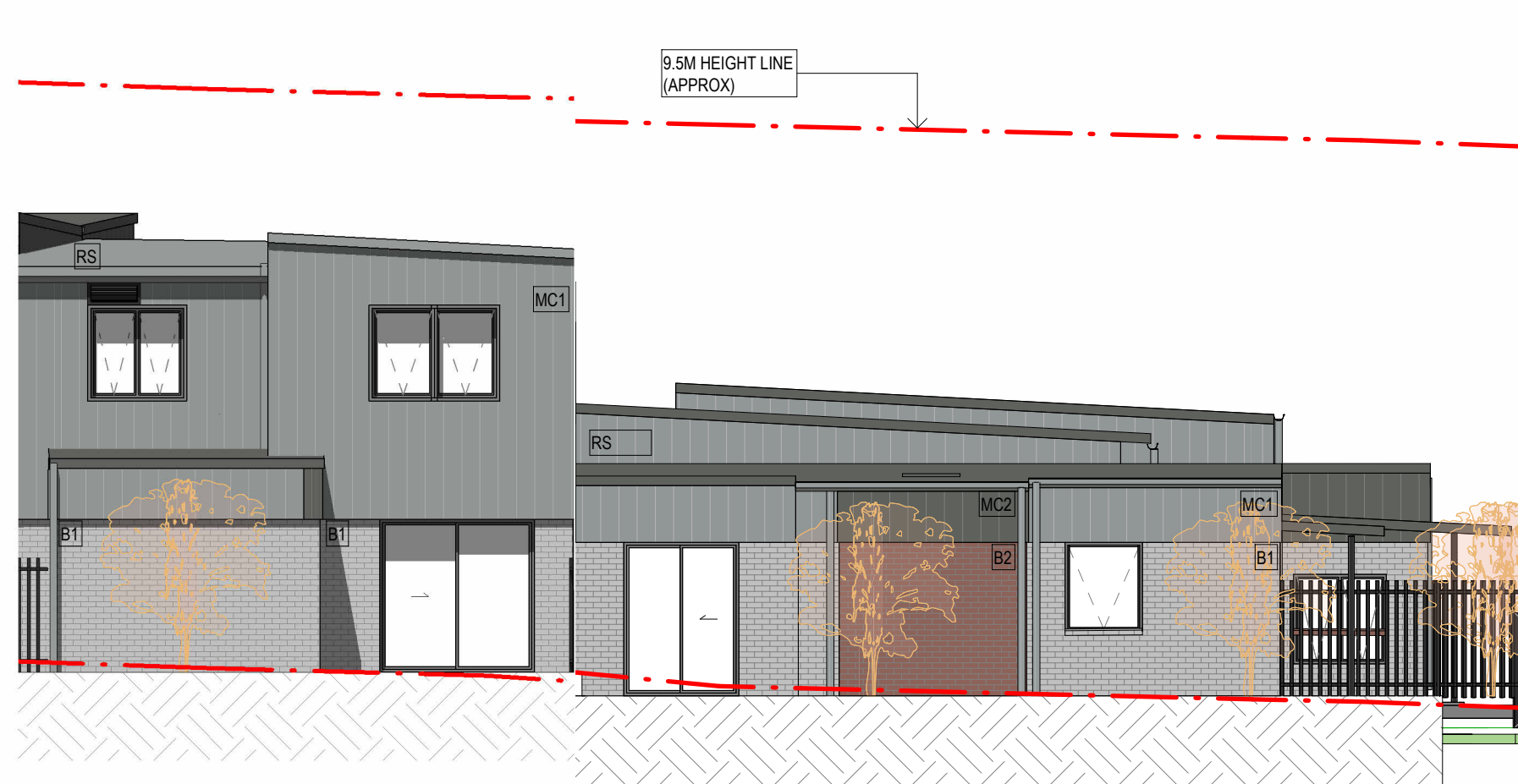
24 August 2023



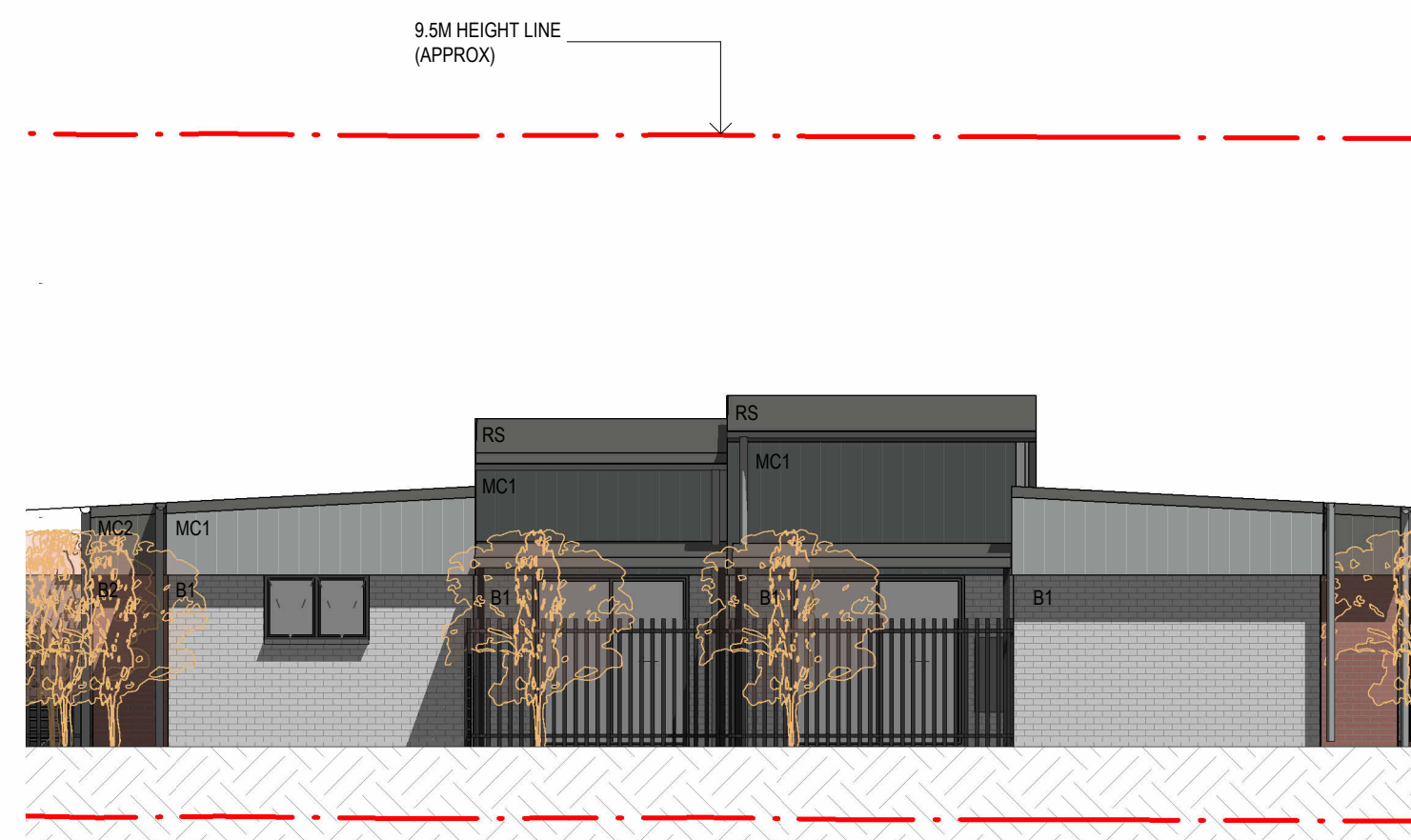
SOUTH ELEVATION - MUNDAMUTTA STREET



EAST ELEVATION 1



EAST ELEVATION 2



NORTH ELEVATION 1



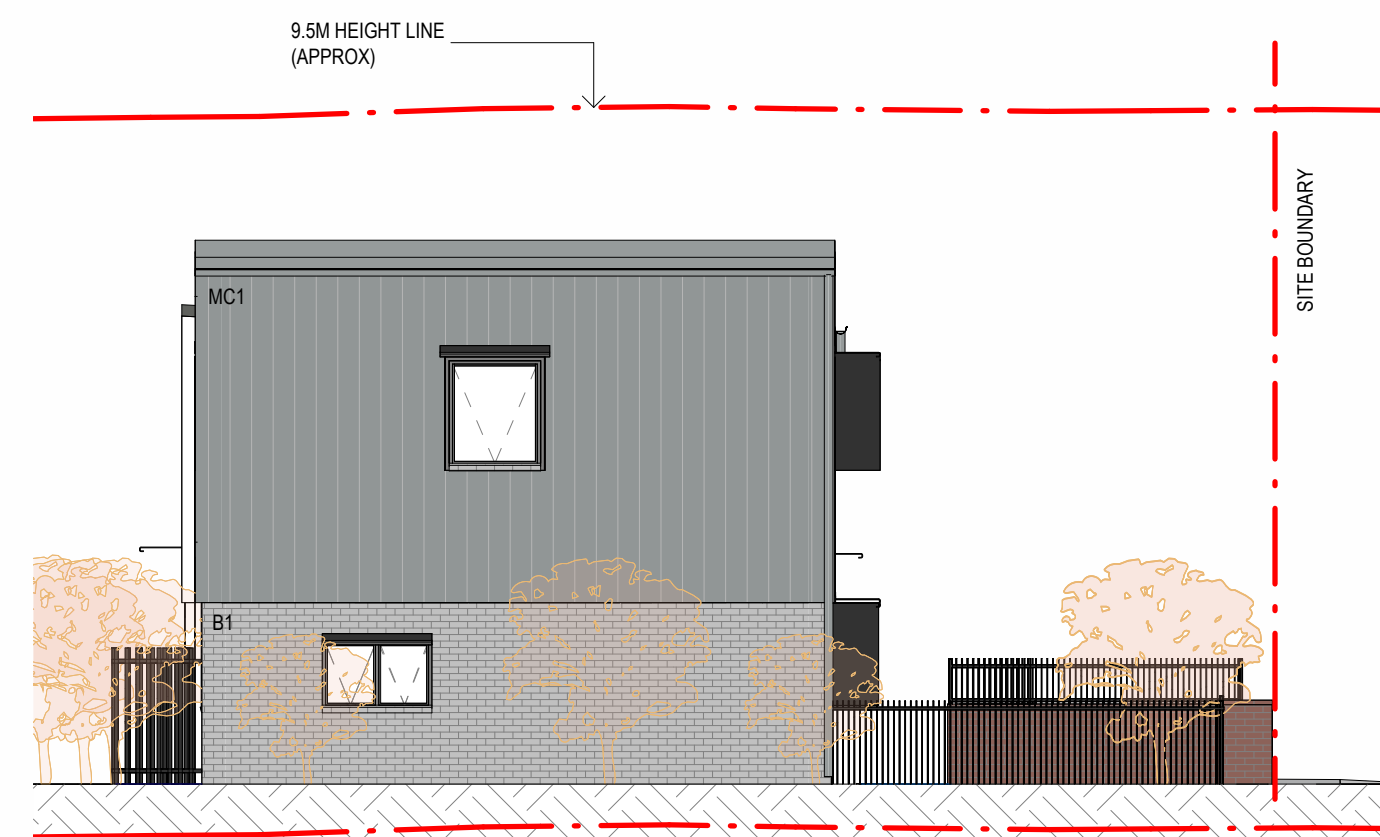
WEST ELEVATION 1

PROPOSED DEVELOPMENT DATA - SEPP HOUSING 2021				
Site Area	2210.36 m ²			
Number of dwellings	12 units (7 x 1 Bed + 5 x 2 Beds)			
	Control	Requirement	Proposed	
Front Setback	Canterbury Bankstown Council	5.5m	5.5m	
Side Setback	Canterbury Bankstown Council	3 m	3 m	
Rear Setback	Canterbury Bankstown Council	Set by Sewerline and easement	Set by Sewerline and easement	
Height	SEPP Housing 2021	9.5m building height (top of ridge)	7.2m building height (top of ridge)	
Floor Space Ratio	SEPP Housing 2021	0.5 : 1	0.36:1	
	Canterbury Bankstown Council	N/A	N/A	
Landscape	SEPP Housing 2021	35m ² per unit = 420m ²	950 m ²	
Deep Soil Zone 15% of site with minimum dimensions of 3m	SEPP Housing 2021	331.5 m ²	583 m ²	
65% of this at rear	SEPP Housing 2021	378.95 m ²	488 m ²	
70% of dwellings to have three hours sunlight to living areas and to associated private open space	SEPP Housing 2021	9	10 83% of development	
Parking	SEPP Housing 2021	0.4 spaces / 1 bed (7) = 2.8 0.5 spaces / 2bed (5) = 2.5 TOTAL SPACES = 6	6 spaces: 2 Accessible spaces with common shared area 1 separate dedicated Accessible space 3 standard spaces	

Note: Refer to DA-11.00 for GFA definitions and calculations



NORTH ELEVATION 2

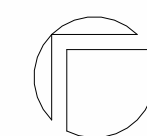


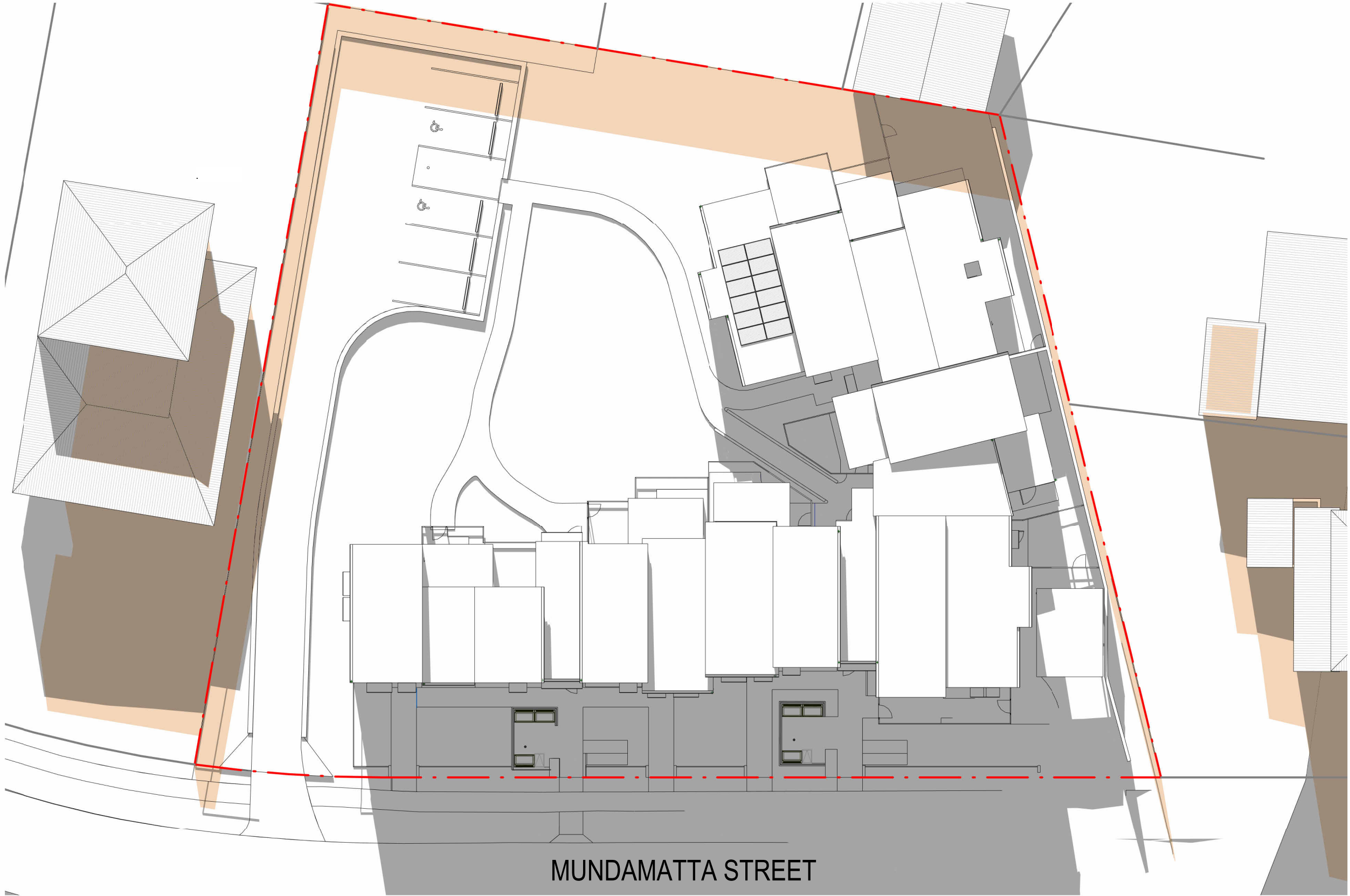
WEST ELEVATION 2

EXTERNAL MATERIALS

B1 SUPPLIER: AUSTRAL BRICKS COLOUR: TITANIUM	FC1 FC SHEET PAINT FINISHED TO MATCH COLORBOND BLUEGUM
B2 SUPPLIER: AUSTRAL BRICKS COLOUR: BLACKSTONE	FC2 FC SHEET PAINT FINISHED TO MATCH COLORBOND BASALT
MC1 METAL CLADDING: LYSAGHT COLOUR: BLUEGUM	WINDOW AND DOOR FRAMES POWER COAT FINISH RANGE: DURALOY COLOUR: BASALT FINISH: SATIN CODE: 2729067S
MC2 METAL CLADDING: LYSAGHT COLOUR: BASALT	DOORS RANGE: DULUX COLOUR: LUSH HOSTA FINISH: SATIN CODE: S20C7
RS ROOF SHEETING: LYSAGHT COLOUR RANGE: BASALT	PE BALCONY SCREENING KNOTWOOD SPRUCE
C1 CONCRETE UPTURN	

1:100
0 2.5 5M
SCALE @ A1

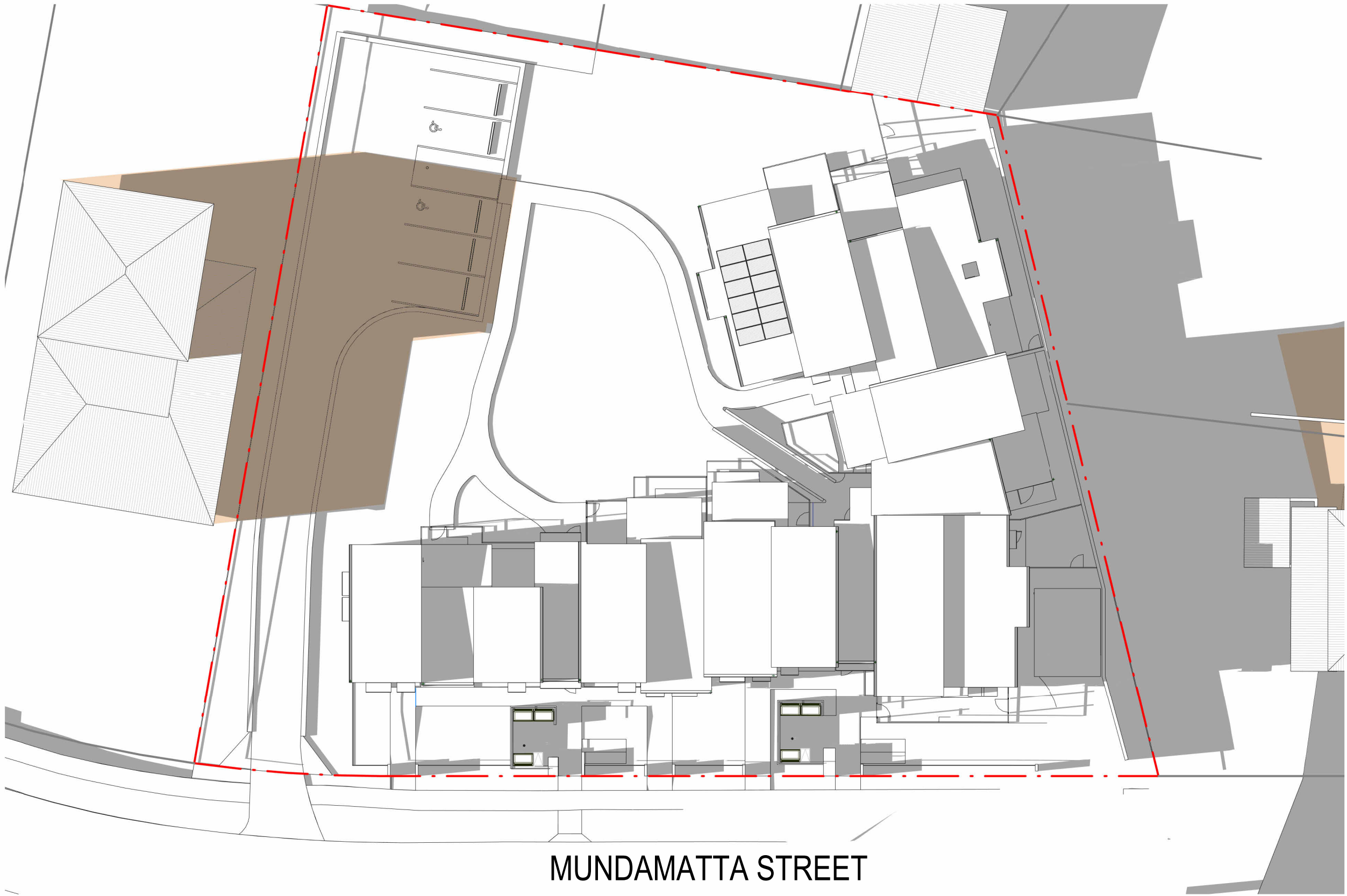




SHADOW DIAGRAMS AT 9AM (21 JUNE)



SHADOW DIAGRAMS AT 12PM (21 JUNE)

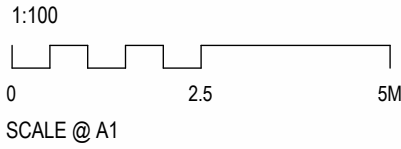


SHADOW DIAGRAMS AT 3PM (21 JUNE)

SHADOW KEY

DEVELOPMENT SHADOW

EXISTING CONTEXT SHADOW



 Planning & Environment	LOCKED BAG 5022 PARAMATTA NSW 2124 Phone No: 1300 305 695	ARCHITECT: Strategy Urban Design Architecture Interior Design	SHADOWS DIAGRAMS 18-22 MUNDAMATTA STREET, VILLAWOOD NSW 2163 LOTS 814-816 DP 36608				REV: 3	DATE: 25/11/22	PROJECT NO: BGYHY	SHEET: N-04